

**Authority:** Item 1, Economic Development  
and Planning Committee  
Report 10-009 (PED09260a)  
CM: May 12, 2010

**Bill No. 128**

**CITY OF HAMILTON**

**BY-LAW No. 10-128**

**To Amend By-law 05-200 to Create New Industrial Zones  
for the City of Hamilton**

**WHEREAS** the City of Hamilton has in force several Zoning By-laws which apply to the different areas incorporated into the City by virtue of the City of Hamilton Act, 1999, S.O. 1999, Chap. 14;

**AND WHEREAS** the City of Hamilton is the lawful successor to the former Municipalities identified in Section 1.7 of By-law 05-200;

**AND WHEREAS** it is desirable to enact a new Zoning By-law to comprehensively deal with zoning throughout the City;

**AND WHEREAS** the said new comprehensive Zoning By-law is being enacted and is coming into force and effect in several stages;

**AND WHEREAS**, the first stage of the Zoning By-law, being By-law 05-200, came into force on May 25, 2005;

**AND WHEREAS** this By-law represents the fourth stage of the Zoning By-law to create new Industrials Zones, amending certain provisions of By-law 05-200 and, applying to the Industrial lands within the Urban Area of the City, as hereinafter described and depicted;

**NOW THEREFORE** the Council of the City of Hamilton enacts as follows:

1. That SECTION 2: INTERPRETATION of By-law 05-200 is hereby amended as follows:
  - a) That Section 2.1 d) – Industrial Classification is amended by adding the letter “s” to the word “Zone” in the heading;

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- b) That Section 2.1 d) – Industrial Classification is amended by adding the following Zones and Zone Symbols following the words “Research and Development Zone, M1”:

“General Business Park Zone	M2
Prestige Business Park Zone	M3
Business Park Support Zone	M4
General Industrial Zone	M5
Light Industrial Zone	M6”

2. That SECTION 3: DEFINITIONS of By-law 05-200 is hereby amended as follows:

- a) That the following new definitions be added:

**“Building and Lumber Supply Establishment**

Shall mean the use of land, building or structure, or part thereof, for a retail store predominantly selling a combination of lumber and a wide range of building and home decorating supplies along with ancillary sales of construction tools, gardening products, and home design products.

**Building or Contracting Supply Establishment**

Shall mean the use of land, building or structure, or part thereof, in which building, construction or home improvement materials are warehoused and which may include accessory retail.

**Bulk Fuel and Oil Storage Establishment**

Shall mean the use of land, building or structure, or part thereof, for the bulk storage or wholesale distribution of gasoline, oil, petroleum products or other flammable liquids, but shall not include a Motor Vehicle Service Station or a Motor Vehicle Gas Bar.

**Commercial Motor Vehicle Sales, Rental and Service Establishment**

Shall mean the use of land, building or structure, or part thereof, where

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commercial motor vehicles or parts for such vehicles are stored and displayed for the purpose of sale, lease, rental or repair.

**Contractor's Establishment**

Shall mean the use of land, building, structure, or part thereof, by a contractor, for the storage and maintenance of equipment used by the contractor, but shall not include a Salvage Yard.

**Equipment and Machinery Sales, Rental and Service Establishment**

Shall mean the use of land, building or structure, or part thereof, for the display, sale, lease, rental or repair of commercial, industrial, farm or agricultural equipment and machinery and which may include facilities for the storage and sale of parts accessory to such equipment and machinery, together with the repair, painting and service of such equipment and machinery.

**Farm Product Supply Dealer**

Shall mean the use of land, building or structure, or part thereof, for the sale and/or storage of seeds, fertilizers, farm equipment or other goods or materials used in agriculture.

**Hazardous Waste Management Facility**

Shall mean a Waste Transfer Facility, a Waste Processing Facility or a Waste Disposal Facility that handles Hazardous Waste and for which a Certificate of Approval for such purpose under Part V of the Environmental Protection Act is required. A Hazardous Waste Management Facility may also include the storage, transfer or processing of non-hazardous waste.

**Hazardous Waste**

Shall mean materials that are defined as Hazardous Waste under Ontario

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Regulation 347 to the Environmental  
Protection Act.

**Home Furnishings Retail Establishment**

Shall mean the use of land, building or structure, or part thereof, for the sale or rental of home furnishings and related supplies, materials or fixtures.

**Industrial Administrative Office**

Shall mean an office for the management or administration of Manufacturing establishments.

**Labour Association Hall**

Shall mean the use of land, building or structure, or part thereof, as a meeting place by labour or trade unions and which is operated for the exclusive use of members and their guests and is not open to the general public on an equal basis, and which may include but not be limited to administrative offices, training facilities and meeting rooms. A Labour Association Hall may also include a Trade School.

**Landscape Contracting Establishment**

Shall mean the use of land, building or structure, or part thereof, where soil, mulch, rock, screening and other similar landscape materials are stored and offered for sale on a wholesale basis, and which may include but not be limited to the storage of related equipment. Accessory snow removal equipment and storage shall also be permitted.

**Major Recreational Vehicle Sales and Service Establishment**

Shall mean the use of land, building or structure, or part thereof, for the display and retail sale of travel trailers, recreational vehicles and boats and which may include but not be limited to the servicing, repair, cleaning, painting, polishing and greasing of such vehicles,

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trailers and boats and the sale of accessories and related products and the leasing or renting of such vehicles, but shall not include a Motor Vehicle Sales and Service Establishment.

**Motor Vehicle Collision Repair Establishment**

Shall mean the use of land, building or structure, or part thereof, for the repair of damage to a motor vehicle caused by collision, accident, corrosion or age, and which may also include the reconstruction of motor vehicles, the painting or repainting of motor vehicles, the rebuilding or conversion of automotive engines or engine parts and which may also include an accessory Towing Establishment, but shall not include a Motor Vehicle Gas Bar, Motor Vehicle Service Station, Motor Vehicle Washing Establishment or Motor Vehicle Wrecking Establishment.

**Motor Vehicle Stacking Space**

Shall mean an area devoted to the waiting or queuing of motor vehicles accessing a drive through facility, separate from any aisle providing access to and from any parking area.

**Motor Vehicle Wrecking Establishment**

Shall mean the use of land, building or structure, or part thereof, for the storage, dismantling, crushing or demolition of unlicensed, inoperable or derelict Motor Vehicles or Commercial Motor Vehicles and which may include the storage and sale of salvaged material or parts obtained therefrom, but shall not include a Motor Vehicle Collision Repair Establishment, Motor Vehicle Service Station, Motor Vehicle Washing Establishment or a Salvage Yard.

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**Private Power Generation Facility**

Shall mean the use of land, building or structure, or part thereof, for the generation and transmission of heat, steam or electricity, and which may include the sale of electricity back into the grid, but shall not include a Waste Management Facility.

**Salvage Yard**

Shall mean the use of land, building or structure, or part thereof, for storing, wrecking, dismantling, processing, recycling and selling used goods, wares, materials and which may include, but not be limited to household items, clothing, furniture, paper, bottles, building materials, scrap metal, machinery, heavy equipment or parts thereof, and shall include but not be limited to a Motor Vehicle Wrecking Establishment. A Salvage Yard shall not include a Waste Management Facility.

**Surveying, Engineering, Planning or Design Business**

Shall mean the use of land, building or structure, or part thereof in which professionals in the field of surveying, engineering, planning or design provide technical consultation, analysis, advisory or administrative services.

**Thermal Treatment**

Shall mean the processing of Waste into a waste-based fuel and/or the disposal of Waste under controlled conditions by heating or combusting the materials and shall include refuse derived fuel manufacturing and energy from waste activities.

**Towing Establishment**

Shall mean the use of land, building or structure, or part thereof, for the keeping of tow trucks, and to which disabled or impounded motor vehicles or mobile equipment are taken or towed and stored temporarily until reclaimed, but shall not

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include a Motor Vehicle Wrecking Establishment or a Salvage Yard.

**Trade School**

Shall mean the use of land, building or structure, or part thereof, in which specialized instruction in a skilled trade is provided and which may include but not be limited to construction, industrial and motive power trades and Commercial Motor Vehicle training and which is operated on a financial profit basis, but shall not include a Commercial School or an Educational Establishment.

**Transport Terminal**

Shall mean the use of land, building or structure, or part thereof, where Commercial Motor Vehicles, trucks, trailers, rail cars or containers are loaded, unloaded, temporarily stored, dispatched or parked for remuneration and may include freight handling facilities related to the trans-shipment of goods, materials or products.

**Travel Plaza**

Shall mean the use of land, building, structure, or part thereof, catering to the goods movement industry and the traveling public. In addition to the sale of fuels for motor vehicles, recreational vehicles, commercial motor vehicles and heavy motor vehicles and propane dispensing, a Travel Plaza may include a retail store, a restaurant, drivers lounge and personal service uses accessory and subordinate to the Travel Plaza function. Travel Plaza component uses may include, among other things, motor vehicle, recreational vehicle, commercial motor vehicle and heavy motor vehicle parking, a weigh scale, a garage – industrial, and a recreational vehicle, commercial motor vehicle and heavy motor vehicle washing establishment.

**Waste Disposal Facility**

Shall mean the use of land for the placement or final disposal of Waste

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under controlled conditions in order to protect environmental and human health and for which a Certificate of Approval for such purpose under Part V of the Environmental Protection Act is required, and shall include but not be limited to: sanitary landfills; Industrial, Commercial and Institutional (ICI) landfills; and, Demolition and Construction (DC) landfills. A waste disposal facility may also include accessory uses including, but not limited to energy from waste activities.

**Waste Management Facility**

Shall mean the use of land, building or structure, or part thereof, for the storage, processing or disposition of Waste or Hazardous Waste and for which a Certificate of Approval for such purpose under Part V of the Environmental Protection Act is required. Waste Management Facilities shall include the following uses: Waste Processing Facilities; Waste Transfer Facilities; Hazardous Waste Management Facilities; and, Waste Disposal Facilities.

**Waste Processing Facility**

Shall mean the use of land, building or structure, or part thereof, for the sorting and processing of waste and recyclable materials and for which a Certificate of Approval for such purpose under Part V of the Environmental Protection Act is required. Waste Processing Facilities shall include but not be limited to: thermal treatment, blue box recyclable recovery facilities, open-air or in-vessel organics processing, wood waste recycling and/or a co-generation energy facility, but shall not include a Motor Vehicle Wrecking Establishment or a Salvage Yard.



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**Waste Transfer Facility** Shall mean the use of land, building or structure or part thereof, for the temporary storage and collection waste and for which a Certificate of Approval for such purpose under Part V of the Environmental Protection Act is required. A Waste Transfer Facility may also include limited sorting of such waste prior to its transport.

**Waste** Shall mean materials that are defined as Waste under Part V of the Environmental Protection Act."

- b) That the definition of **Communications Establishment** be amended:

by deleting the words "an establishment used" between the words "Shall mean" and "for the broadcasting" and replacing it with the words "the use of land, building or structure, or part thereof,"; and,

by adding the words "and production" between the words "for the broadcasting" and "of information through".

- c) That the definition of **Computer, Electronic and Data Processing Establishment** be amended:

by deleting the words "an establishment used for" between the words "Shall mean" and "for the research" and replacing it with the words "the use of land, building or structure, or part thereof,"; and,

by deleting the words "and/" between the words "of electronic equipment" and "or software."

- d) That the definition of **Lot Line, Side Lot Line** be amended by adding the words "The Hypotenuse of a Daylight Triangle shall also be a side lot line." after the words "or rear lot line."

- e) That the definition of **Motor Vehicle Service Station** be amended:

by deleting the words "an establishment used" between the words "Shall mean" and "for the sale" and replacing it with the words "the use of land, building or structure, or part thereof,";

by deleting the words "and/" between the words "automotive accessories" and "or convenience goods,";

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by adding the word "Establishment," between the words "Collision Repair" and "Motor Vehicle Sales";

by adding the word "Establishment," between the words "Sales and Service" and "Motor Vehicle"; and,

by deleting the term "Motor Vehicle Car Wash" and replacing it with the term "Motor Vehicle Washing Establishment".

f) That the definition of **Office** be amended:

by adding the words "and shall include but not be limited to an Industrial Administrative Office and a Surveying, Engineering, Planning or Design Business," between the words "offered or performed" and "but shall not include"; and,

by deleting the word "a" between the words "Medical Clinic or" and "Medical Office".

g) That the definition of **Planned Business Centre** be amended by adding the words ", and where each business establishment has a separate entrance located at grade." following the words "for lease or occupancy".

h) That the definition of **Private Club or Lodge** be amended:

by deleting the words "a building or part of a building used" between the words "Shall mean" and "for social, literary" and replacing it with the words "the use of land, building or structure, or part thereof,"; and,

by adding the words "or a Labour Association Hall" following the words "shall not include a Fitness Club".

i) That the definition of **Science and Technology Establishment** be amended:

by deleting the words "an establishment" between the words "Shall mean" and "where scientific and" and replacing it with the words "the use of land, building or structure, or part thereof,"; and,

by deleting the words "and/" between the words "development, manufacturing" and "or technical experimentation".

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- j) That the definition of **Tradesperson's Shop** be amended by deleting the words "a building" between the words "Shall mean" and "in which is provided" and replacing it with the words "the use of land, building or structure, or part thereof,"; and,
- by deleting the word "and" between the words "plumbers shop" and "other shops" and replacing it with the word "or".
- k) That the definition of **Transportation Depot** be amended:
- by adding the words ", building or structure, or part thereof," between the words "the use of land" and "where commercial motor"; and,
- by deleting the words "also include" between the words "purpose and shall" and "courier service facilities" and replacing it with the words "include but not be limited to".
- l) That the definition of "**Garden Centre**" be deleted and replaced with the following definition:
- "Garden Centre**                      Shall mean the use of land, building or structure, or part thereof, for the display and sale of plants, gardening and landscaping supplies and equipment."
- m) That the definition of "**Manufacturing**" be deleted and replaced with the following definition:
- "Manufacturing**                      Shall mean the production, fabrication, compounding, processing, packaging, crafting, bottling, packing, recycling or assembling of raw or semi-processed or fully-processed goods or materials, and shall include but not be limited to a Biotechnological Establishment, Computer, Electronic and Data Processing Establishment, Pharmaceutical and Medical Establishment, Printing Establishment and/or a Science and Technology Establishment. Manufacturing may also include a Private Power Generation Facility as an accessory use, but shall not include a Waste Management Facility."

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- n) That the definition of “**Research and Development Establishment**” be deleted and replaced with the following definition:

***“Research and Development Establishment***

Shall mean the use of land, building or structure, or part thereof, for the purpose of conducting pure and applied research, analysis and experimentation in any field of science, medicine, technology and manufacturing and shall include but not be limited to facilities such as lecture rooms, administrative offices, laboratories, training facilities, display rooms, pilot plants, prototypical manufacturing, simulating equipment and the like, and service and machine shops to serve the Research and Development Establishment. A Research and Development Establishment shall also include but not be limited to a Biotechnological Establishment, Computer, Electronic and Data Processing Establishment, Laboratory, Pharmaceutical and Medical Establishment, and/or a Science and Technology Establishment.”

- o) That the definition of “**Warehouse**” be deleted and replaced with the following definition:

***“Warehouse***

Shall mean the use of land, building or structure, or part thereof, for the bulk storage or distribution of goods to industrial, commercial or institutional business users or other wholesalers, but shall not include the retailing of goods to the general public. A Warehouse shall not include a Waste Management Facility, Salvage Yard or Towing Establishment.”

3. That SECTION 4: GENERAL PROVISIONS of By-law 05-200 is hereby amended as follows:

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- a) That Section 4.3 FRONTAGE ON A STREET is amended by adding the following new subsection:

“c) Notwithstanding a) above, any lot with an Industrial Zone shall not be required frontage on a public road, unless otherwise stated in this By-law.”

- b) That Section 4.12 VACUUM CLAUSE is amended by adding the following new subsection:

“c) Notwithstanding any other provisions of this By-law, any lot within the Industrial Zones of this By-law and the location thereon of any building or structure, existing on the effective date of this By-law, shall be deemed to comply with the regulations for any required setbacks, front yard, flankage yard, rear yard, lot width, lot area and building height and are permitted by this By-law.”

- c) That the following new Sections be added:

**“4.23 SPECIAL SETBACKS**

Notwithstanding any other provisions in this By-law, the following Special Setbacks shall apply:

- a) **Setback from a Provincial Highway Right-of-Way**  
All buildings, structures, required parking areas and storm water management facilities located on a property shall be setback a minimum of 14.0 metres from a Provincial Highway Right-of-Way.
- b) **Setback from a Railway Right-of-Way**  
All buildings or structures within a Residential Zone or an Institutional Zone shall be setback a minimum of 30.0 metres from a Railway Right-of-Way.
- c) **Setback from a TransCanada Pipeline Right-of-Way**  
All buildings or structures located on a property shall be setback a minimum of 10.0 metres from a TransCanada Pipeline Right-of-Way.
- d) **Setback from a Conservation/Hazard Land (P5) Zone**

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All buildings or structures located on a property shall be setback a minimum of 7.5 metres from a P5 Zone boundary line.

**4.24 CONSERVATION AUTHORITY REGULATION AREA**

Lands shown on Schedule “A” – Zoning Maps as “CA Regulation Area” are subject to additional regulation by the applicable Conservation Authority. Landowners are advised to contact the appropriate Conservation Authority prior to any development or site alteration within the area subject to the Conservation Authority Regulation in order to determine approval requirement(s).

These boundaries are intended for information and reference purposes, and are subject to change from time to time without requiring amendment to this By-law.

**4.25 DRIVE THROUGH REGULATIONS**

a) Notwithstanding any other provisions in this By-law, every drive through shall provide the following minimum number of stacking spaces from the service window:

- i) Restaurant – 12 spaces
- ii) All other uses – 3 spaces

b) No stacking space shall be less than 2.6 metres in width by 6.0 metres in length, unless otherwise provided for in this By-law.”

4. That SECTION 5: PARKING of By-law 05-200 is hereby amended as follows:

a) That Section 5.2 DESIGN STANDARDS is amended by adding the following new subsection:

**“5.2.1 LOCATION OF LOADING FACILITIES**

The location of loading doors and associated loading facilities shall be subject to the following:

a) Shall not be permitted within a Front Yard;

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- b) Shall not be permitted in any yard abutting a street, except where screened from view by a Visual Barrier in accordance with Section 4.19 of this By-law; and,
  - c) Shall not be permitted in a required yard abutting a Residential Zone or an Institutional Zone and shall be screened from view by a Visual Barrier in accordance with Section 4.19 of this By-law."
- b) That Section 5.6 c) Parking Schedule for All Zones, except the Downtown Zones is amended by adding the following new parking requirements to subsection iv. Commercial Uses:

Building and Lumber Supply Establishment; Building or Contracting Supply Establishment	1 for each 30.0 square metres of gross floor area, which accommodates the Office, Retail and Showroom component of the use.
Conference or Convention Centre	1 for each 30.0 square metres of gross floor area, which accommodates such use.
Courier Establishment	1 for each 30.0 square metres of gross floor area which accommodates the Office component of the use.
Financial Establishment	1 for each 30.0 square metres of gross floor area, which accommodates such use.
Hotel	1 for each guest suite.
Medical Clinic, Medical Office	1 for each 16.0 square metres of gross floor area, which accommodates such use.
Motor Vehicle Service Station	4 for each service bay.
Office	1 for each 30.0 square metres of gross floor area which accommodates such use.
Personal Services	1 for each 16.0 square metres of

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	gross floor area which accommodates such use.
Restaurant	<p>i) 1 for each 8.0 square metres of gross floor area which accommodates such use.</p> <p>ii) Notwithstanding i) above, where there are no seats provided for dining purposes, a minimum of 3 spaces shall be required.</p>
Retail	1 for each 20.0 square metres of gross floor area which accommodates such use.
Transportation Depot	1 for each 30.0 square metres of gross floor area which accommodates the Office component of the use.
Warehouse	1 for each 30.0 square metres of gross floor area which accommodates the Office component of the use."

- c) That Section 5.6c) Parking Schedule for All Zones, except the Downtown Zones is amended by deleting the following parking requirements in subsection v. Industrial Uses:

<p>“Biotechnological Establishment; Communications Establishment; Computer, Electronic and Data Processing Establishment; Laboratory; Pharmaceutical and Medical Establishment; Printing Establishment; Research and Development Establishment (not located in a M1 Zone); Science and Technology</p>	1 for each 50.0 square metres of gross floor area, which accommodates such use.
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Manufacturing; Warehouse	1 for each 115.0 square metres of gross floor area, which accommodates such use.”

d) That Section 5.6 c) Parking Schedule for All Zones, except the Downtown Zones is amended by adding the following new parking requirements to subsection v. Industrial Uses:

“Bulk Fuel and Oil Storage	1 for each 30.0 square metres of gross floor area, which accommodates the Office component of the use.
Commercial Motor Vehicle Sales, Rental and Service Establishment	1 for each 115.0 square metres of gross floor area, which accommodates such use.
Commercial Motor Vehicle Washing Establishment	4 for each service bay.
Communications Establishment	1 for each 50.0 square metres of gross floor area, which accommodates such use.
Contractor’s Establishment	1 for each 115.0 square metres of gross floor area, which accommodates such use.
Dry Cleaning Plant	1 for each 115.0 square metres of gross floor area, which accommodates such use.
Equipment and Machinery Sales, Rental and Service Establishment	1 for each 100.0 square metres of gross floor area, which accommodates such use.
Industrial Administrative Office	1 for each 30.0 square metres of gross floor area, which accommodates such use.
Laboratory	1 for each 50.0 square metres of gross floor area, which accommodates such use.

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Labour Association Hall	1 for each 30.0 square metres of gross floor area, which accommodates such use.
Landscape Contracting Establishment	1 for each 115.0 square metres of gross floor area, which accommodates such use.
Manufacturing	1 for each 30.0 square metres of gross floor area which accommodates the Office component of the use, plus 1 for each 200.0 square metres of gross floor area, which accommodates the remainder of the use.
Motor Vehicle Collision Repair Establishment	1 for each 115.0 square metres of gross floor area, which accommodates such use.
Planned Business Centre within an Industrial Zone, except an M4 Zone	1 for each 50.0 square metres of the gross floor area.
Planned Business Centre within an M4 Zone	<ul style="list-style-type: none"> <li>i) 1 for each 30.0 square metres of the gross floor area.</li> <li>ii) In addition to i) above, where a Restaurant occupies more than 30 percent of the gross floor area of the planned business centre, the specific parking requirement for the Restaurant shall be required in addition to the planned business centre requirement for the remaining gross floor area of the planned business centre.</li> <li>iii) In addition to i) above, where a Medical Office or a Medical Clinic occupies more than 30</li> </ul>

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	percent of the gross floor area of the planned business centre, the specific parking requirement for the Medical Office or Medical Clinic shall be required in addition to the planned business centre requirement for the remaining gross floor area of the planned business centre.
Private Power Generation Facility	1 for each 30.0 square metres of gross floor area which accommodates the Office component of the use.
Repair Service	1 for each 30.0 square metres of gross floor area which accommodates the Office, Retail and Showroom component of the use.
Research and Development Establishment within an Industrial Zone, except an M1 Zone	1 for each 50.0 square metres of gross floor area which accommodates such use.
Salvage Yard	1 for each 30.0 square metres of gross floor area which accommodates the Office and Retail component of the use.
Surveying, Engineering, Planning or Design Business	1 for each 30.0 square metres of gross floor area which accommodates such use.
Towing Establishment	1 for each 30.0 square metres of gross floor area which accommodates the Office component of the use.
Trade School	1 for each 30.0 square metres of gross floor area which accommodates such use.
Tradesperson's Shop	1 for each 30.0 square metres of

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	gross floor area, which accommodates the Office, Retail and Showroom component of the use.
Transport Terminal	1 for each 30.0 square metres of gross floor area which accommodates the Office component of the use.
Waste Management Facility	1 for each 30.0 square metres of gross floor area which accommodates the Office component of the use, plus 1 for each 200.0 square metres of gross floor area, which accommodates the remainder of the use."

5. That SECTION 9: INDUSTRIAL ZONES of By-law 05-200 is hereby amended by adding the following new subsections:

**"9.2 GENERAL BUSINESS PARK (M2) ZONE**

No person shall erect, or use any building in whole or in part, or use any land in whole or in part, within an General Business ParkI (M2) Zone for any purpose other than one or more of the following uses, or uses accessory thereto. Such erection or use shall also comply with the prescribed regulations:

**9.2.1 PERMITTED USES**

- Animal Shelter
- Building and Lumber Supply Establishment
- Building or Contracting Supply Establishment
- Children's Play-gym
- Commercial Motor Vehicle Sales, Rental and Service Establishment
- Communications Establishment
- Contractor's Establishment
- Courier Establishment
- Dry Cleaning Plant
- Equipment and Machinery Sales, Rental and Service Establishment

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Gymnastics Studio  
Industrial Administrative Office  
Laboratory  
Labour Association Hall  
Landscape Contracting Establishment  
Manufacturing

Motor Vehicle Collision Repair  
Establishment  
Private Power Generation Facility  
Repair Service  
Research and Development  
Establishment  
Surveying, Engineering, Planning or  
Design Business  
Trade School  
Tradesperson's Shop  
Transport Terminal  
Warehouse  
Waste Processing Facility  
Waste Transfer Facility

**9.2.2 PROHIBITED USES**

- i) Notwithstanding Section 9.2.1, the following types of manufacturing uses are prohibited, except if these uses are considered only as an accessory use to another permitted manufacturing use:

Beverage Distillation  
Breweries  
Manufacturing of Asbestos,  
Phosphate or Sulphur  
Products  
Primary Production of Chemicals,  
Synthetic Rubber or Plastic  
Processing or Refining of  
Petroleum or Coal  
Processing, Milling or Packaging of  
Animal Feed  
Salvage Yard  
Slaughtering, Eviscerating,  
Rendering or Cleaning of  
Meat, Poultry or Fish or by-  
products thereof  
Smelting of Ore or Metal

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Tanning or Chemical Processing of  
Pelts or Leather  
Vulcanizing of Rubber or Rubber  
Products  
Explosives Manufacturing  
Pulp and Paper Mills

- ii) Notwithstanding Section 9.2.1, the following uses are prohibited, even as accessory uses:

Day Nursery  
Dwelling Unit

**9.2.3 REGULATIONS**

- |   |  |
|---|--|
| a) Minimum Lot Area   | 4000.0 square metres   |
| b) Minimum Yard Abutting a Street                                 | 3.0 metres   |
| c) Landscaped Area and Planting Strip Requirements                | <p>i) Minimum 3.0 metre wide Landscaped Area shall be provided and maintained abutting a street, except for points of ingress and egress;</p> <p>ii) In addition to i) above, where a parking space, aisle or driveway is located in a Yard abutting a Street, a minimum 3.0 metre wide Planting Strip shall be required and maintained between the said parking space, aisle or driveway and a street, except for points of ingress and egress.</p> |
| d) Location and Screening of Outdoor Storage and Outdoor Assembly | <p>Outdoor Storage and Outdoor Assembly of goods, materials or equipment shall be permitted only as an accessory use and the following regulations shall apply:</p> <p>i) Outdoor Storage and Outdoor Assembly shall not be permitted in a Front Yard or a required Flankage Yard;</p>   |

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- ii) Outdoor Storage and Outdoor Assembly shall not exceed 85% of the total lot area;
  - iii) Outdoor Storage and Outdoor Assembly shall be screened from view from any abutting street by a Visual Barrier in accordance with Section 4.19 of this By-law.
- e) Location of Outdoor Display Outdoor Display of goods, materials or equipment shall be permitted only as an accessory use and shall be permitted in a yard abutting a street, but shall be no closer than 3.0 metres to the lot line.
- f) Location Restriction of Waste Processing Facility and Waste Transfer Facility
  - i) In addition to the Regulations of Section 9.2.3, any building, structure or land used for a Waste Processing Facility or a Waste Transfer Facility, shall be located a minimum of 300.0 metres from a Residentially Zoned or Institutionally Zoned property lot line.
  - ii) Notwithstanding Section 9.2.1, on those lots delineated within the boundaries shown on Figure 4 – Flamborough Business Park of Schedule “F” – Special Figures, Waste Processing Facility and Waste Transfer Facility shall not be permitted.
- g) Maximum Gross Floor Area for Industrial Administrative Office or Surveying, Engineering, Planning or Design Business An Industrial Administrative Office or a Surveying, Engineering, Planning or Design Business shall be limited to a gross floor area of less than 10,000 square metres on a lot.
- h) Maximum Combined Gross Floor Area for Accessory Retail and Showroom Area 25% of the gross floor area of the principal use or 500.0 square metres gross floor area, whichever is the lesser.
- i) Location Restriction for Shall only be permitted on lots delineated

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- |  |   |
|--|---|
| Children's Play-gym and<br>Gymnastics Studio | with the boundaries shown on Figure 3 –<br>Ancaster Business Park of Schedule "F" –<br>Special Figures. |
| j) Parking                                   | In accordance with the requirements of<br>Section 5 of this By-law.                                     |
| k) Accessory Buildings                       | In accordance with the requirements of<br>Section 9.2.3 of this By-law.                                 |

**9.3 PRESTIGE BUSINESS PARK (M3) ZONE**

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No person shall erect, or use any building in whole or in part, or use any land in whole or in part, within an Prestige Business Park (M3) Zone for any purpose other than one or more of the following uses, or uses accessory thereto. Such erection or use shall also comply with the prescribed regulations:

**9.3.1 PERMITTED USES**

Building and Lumber Supply  
Establishment  
Building or Contracting Supply  
Establishment  
Children's Play-gym  
Commercial Motor Vehicle Sales, Rental  
and Service Establishment  
Communications Establishment  
Conference or Convention Centre  
Contractor's Establishment  
Courier Establishment  
Equipment and Machinery Sales, Rental  
and Service Establishment  
Gymnastics Studio  
Hotel  
Industrial Administrative Office  
Laboratory  
Labour Association Hall  
Manufacturing  
Motor Vehicle Collision Repair  
Establishment  
Motor Vehicle Service Station  
Office  
Private Power Generation Facility  
Repair Service  
Research and Development  
Establishment



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Surveying, Engineering, Planning or  
Design Business  
Trade School  
Tradesperson's Shop  
Transport Terminal  
Transportation Depot  
Warehouse

**9.3.2 PROHIBITED USES**

- i) Notwithstanding Section 9.3.1, the following types of manufacturing uses are prohibited, even as an accessory use:

Beverage Distillation  
Breweries  
Manufacturing of Asbestos,  
Phosphate or Sulphur  
Products  
Primary Production of Chemicals,  
Synthetic Rubber, Plastic,  
Asphalt or Cement, not  
including mixing, blending,  
treatment or similar process  
Processing or Refining of  
Petroleum or Coal  
Processing, Milling or Packaging of  
Animal Feed  
Salvage Yard  
Slaughtering, Eviscerating,  
Rendering or Cleaning of  
Meat, Poultry or Fish or by-  
products thereof  
Smelting of Ore or Metal  
Tanning or Chemical Processing of  
Pelts or Leather  
Vulcanizing of Rubber or Rubber  
Products  
Explosives Manufacturing  
Pulp and Paper Mills

- ii) Notwithstanding Section 9.3.1, the following uses are prohibited, even as accessory uses:

Day Nursery  
Dwelling Unit

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Place of Worship

**9.3.3 REGULATIONS**

- |   |  |
|---|--|
| a) Minimum Lot Area   | 4000.0 square metres   |
| b) Yard Abutting a Street   | i) Minimum 6.0 metres;<br>ii) Maximum 25.0 metres.   |
| c) Minimum Yard Abutting a Residential Zone or an Institutional Zone  | 6.0 metres from any portion of a property lot line abutting a property lot line within a Residential Zone or an Institutional Zone.  |
| d) Maximum Building Height Abutting a Residential Zone or an Institutional Zone   | i) 11.0 metres;<br>ii) In addition to i) above, maximum building height may be equivalently increased as yard increases beyond minimum yard requirement established in 9.3.3 d) above.                           |
| e) Location Restriction of Manufacturing Uses   | Any building or structure used for Manufacturing shall be setback a minimum 20.0 metres from any portion of a property lot line abutting a property lot line within a Residential Zone or an Institutional Zone. |
| f) Restriction of Outdoor Training Facilities associated with a Trade School  | Any outdoor training facilities shall be prohibited.   |
| g) Gross Floor Area for Office Use  | Maximum gross floor area for Office use within an individual building, excluding accessory office, shall be limited to 3,000 square metres.  |
| h) Maximum Gross Floor Area for Industrial Administrative Office or Surveying, Engineering, Planning or Design Business | An Industrial Administrative Office or a Surveying, Engineering, Planning or Design Business shall be limited to a gross floor area of less than 10,000 square metres on a lot.                                  |

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|---|---|
| i) Landscaped Area and Planting Strip Requirements                | <ul style="list-style-type: none"><li>i) Minimum 6.0 metre wide Landscaped Area shall be provided and maintained abutting a street, except for points of ingress and egress;</li><br/><li>ii) In addition to i) above, within the 6.0 metre Landscaped Area, a minimum 3.0 metre wide Planting Strip shall be required and maintained between parking spaces, aisles or driveways and a street, except for points of ingress and egress;</li><br/><li>iii) In addition to i) above, for properties adjacent to Trinity Church Road, south of Rymal Road East, a minimum 6.0 metre wide Landscaped Area shall be provided and maintained;</li><br/><li>iv) Where a property lot line abuts a property lot line within a Residential Zone or an Institutional Zone, a minimum 3.0 metre wide Planting Strip shall be provided and maintained.</li></ul> |
| j) Visual Barrier   | <ul style="list-style-type: none"><li>i) Shall be provided along that portion of a property lot line abutting a property lot line within a Residential Zone or an Institutional Zone, in accordance with Section 4.19 of this By-law;</li><br/><li>ii) In addition to i) above, for properties adjacent to Trinity Church Road, south of Rymal Road East, a Visual Barrier shall be required within the Landscaped Area provided in Section 9.3.3 j) above.</li></ul>   |
| k) Location and Screening of Outdoor Storage and Outdoor Assembly | Outdoor Storage and Outdoor Assembly of goods, materials or equipment shall be permitted only as an accessory use and the following regulations shall apply:  |

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- i) Outdoor Storage and Outdoor Assembly shall not be permitted in a Front Yard or a required Flankage Yard;
- ii) In addition to i) above, Outdoor Storage and Outdoor Assembly shall not be permitted in a Flankage Yard along the following streets:

Barton Street/Barton Street East  
Dickenson Road East  
Fruitland Road  
Garner Road West  
Highway No. 5 West  
Highway No. 6  
Rymal Road East  
Shaver Road  
South Service Road  
Stone Church Road East  
Trinity Church Road Extension  
Trinity Road  
Upper Ottawa Street  
Wilson Street West

- iii) Outdoor Storage and Outdoor Assembly shall not exceed 85% of the total lot area;
- iv) Outdoor Storage and Outdoor Assembly shall be set back a minimum of 20.0 metres from any portion of a property lot line abutting a property lot line within a Residential Zone or an Institutional Zone, and shall be screened by a Visual Barrier in accordance with Section 4.19 of this By-law;
- v) Outdoor Storage and Outdoor Assembly shall be screened from view from any abutting street by a Visual Barrier in accordance with Section 4.19 of this By-law.

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|---|---|
| l) Location and Size of Outdoor Display                               | Outdoor Display of goods, materials or equipment shall be permitted only as an accessory use and the following regulations shall apply: <ul style="list-style-type: none"><li>i) Outdoor Display shall be permitted in a yard abutting a street, but shall be no closer than 3.0 metres to the lot line;</li><li>ii) In addition to i) above, the area devoted to Outdoor Display shall be limited to a combined maximum of 25% of the Landscaped Area.</li></ul> |
| m) Maximum Gross Floor Area for Accessory Retail and Showroom Area    | 25% of the gross floor area of the principal use or 500.0 square metres gross floor area, whichever is the lesser.  |
| n) Restriction of Access to Trinity Church Road                       | Access to Trinity Church Road, south of Rymal Road East, shall be prohibited for all new development.   |
| o) Location Restriction for Children's Play-gym and Gymnastics Studio | Shall only be permitted on lots delineated with the boundaries shown on Figure 3 – Ancaster Business Park of Schedule "F" – Special Figures.  |
| p) Parking  | In accordance with the requirements of Section 5 of this By-law.  |
| q) Accessory Buildings  | <ul style="list-style-type: none"><li>i) In accordance with the requirements of Section 9.3.3 of this By-law;</li><li>ii) Notwithstanding i) above, Section 9.3.3 c) ii) shall not apply.</li></ul>   |

**9.4 BUSINESS PARK SUPPORT (M4) ZONE**

No person shall erect, or use any building in whole or in part, or use any land in whole or in part, within an Business Park Industrial (M4) Zone for any purpose other than one or more of the following uses, or uses accessory thereto. Such erection or use shall also comply with the prescribed regulations:

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**9.4.1 PERMITTED USES**

Building and Lumber Supply  
Establishment  
Building or Contracting Supply  
Establishment  
Children's Play-gym  
Commercial Motor Vehicle Sales, Rental  
and Service Establishment  
Communications Establishment  
Conference or Convention Centre  
Contractor's Establishment  
Courier Establishment  
Equipment and Machinery Sales, Rental  
and Service Establishment  
Financial Establishment  
Gymnastics Studio  
Hotel  
Industrial Administrative Office  
Laboratory  
Labour Association Hall  
Manufacturing  
Medical Clinic  
Medical Office  
Motor Vehicle Collision Repair  
Establishment  
Motor Vehicle Service Station  
Office  
Personal Services  
Private Power Generation Facility  
Repair Service  
Research and Development  
Establishment  
Restaurant  
Retail  
Surveying, Engineering, Planning or  
Design Business  
Trade School  
Tradesperson's Shop  
Transport Terminal  
Transportation Depot  
Warehouse

**9.4.2 PROHIBITED USES**

- i) Notwithstanding Section 9.4.1, the following types of manufacturing uses are prohibited, even as an accessory use:

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Beverage Distillation  
Breweries  
Manufacturing of Asbestos,  
Phosphate or Sulphur  
Products

Primary Production of Chemicals,  
Synthetic Rubber, Plastic,  
Asphalt or Cement, not  
including mixing, blending,  
treatment or similar process

Processing or Refining of  
Petroleum or Coal

Processing, Milling or Packaging  
of Animal Feed

Salvage Yard

Slaughtering, Eviscerating,  
Rendering or Cleaning of  
Meat, Poultry or Fish or by-  
products thereof

Smelting of Ore or Metal

Tanning or Chemical Processing  
of Pelts or Leather

Vulcanizing of Rubber or Rubber  
Products

Explosives Manufacturing

Pulp and Paper Mills

- ii) Notwithstanding Section 9.4.1, the following uses are prohibited, even as accessory uses:

Day Nursery  
Dry Cleaning Plant  
Dwelling Unit  
Place of Worship

**9.4.3 REGULATIONS**

- a) Minimum Lot Area 4000.0 square metres
- b) Yard Abutting a Street
- i) Minimum 6.0 metres;
- ii) Maximum 25.0 metres.

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- |   |  |
|---|--|
| c) Minimum Yard Abutting a Residential Zone or an Institutional Zone  | 6.0 metres from any portion of a property lot line abutting a property lot line within a Residential Zone or an Institutional Zone.  |
| d) Maximum Building Height Abutting a Residential Zone or an Institutional Zone   | i) 11.0 metres;<br><br>ii) In addition to i) above, maximum building height may be equivalently increased as yard increases beyond minimum yard requirements established in 9.4.3 d) above.                      |
| e) Location Restriction of Manufacturing Uses   | Any building or structure used for Manufacturing shall be setback a minimum 20.0 metres from any portion of a property lot line abutting a property lot line within a Residential Zone or an Institutional Zone. |
| f) Restriction of Outdoor Training Facilities associated with a Trade School  | Any outdoor training facilities shall be prohibited.   |
| g) Maximum Combined Gross Floor Area for Medical Clinic and Medical Office  | Shall be limited to a combined total of 3,000 square metres gross floor area on a lot.   |
| h) Gross Floor Area for Office Use  | Maximum gross floor area for Office use within an individual building, excluding accessory office, shall be limited to 3,000 square metres.  |
| i) Maximum Gross Floor Area for Industrial Administrative Office or Surveying, Engineering, Planning or Design Business | An Industrial Administrative Office or a Surveying, Engineering, Planning or Design Business shall be limited to a gross floor area of less than 10,000 square metres on a lot.                                  |
| j) Size and Location Restriction for Supportive Commercial Uses   | i) The following uses shall only be permitted on the ground floor of a building or be located at grade on any lot:   |



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Financial Establishment  
Personal Services  
Restaurant  
Retail

- ii) An individual Retail Establishment shall be restricted to a maximum gross floor area of 500.0 square metres.
- k) Landscaped Area and Planting Strip Requirements
  - i) Minimum 6.0 metre wide Landscaped Area shall be provided and maintained abutting a street, except for points of ingress and egress;
  - ii) In addition to i) above, within the 6.0 metre Landscaped Area, a minimum 3.0 metre wide Planting Strip shall be required and maintained between parking spaces, aisles or driveways and a street, except for points of ingress and egress;
  - iii) Where a property lot line abuts a property lot line within a Residential Zone or an Institutional Zone, a minimum 3.0 metre wide Planting Strip shall be provided and maintained.
- l) Visual Barrier
  - Shall be provided along that portion of a property lot line abutting a property lot line within a Residential Zone or an Institutional Zone, in accordance with Section 4.19 of this By-law.
- m) Location and Screening of Outdoor Storage and Outdoor Assembly
  - Outdoor Storage and Outdoor Assembly of goods, materials or equipment shall be permitted only as an accessory use and the following regulations shall apply:
    - i) Outdoor Storage and Outdoor Assembly shall not be permitted in a Front Yard or a required Flankage

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Yard;

- ii) In addition to i) above, Outdoor Storage and Outdoor Assembly shall not be permitted in a Flankage Yard along the following streets:

Barton Street/Barton Street East  
Dickenson Road East  
Fruitland Road  
Garner Road West  
Highway No. 5 West  
Highway No. 6  
Rymal Road East  
Shaver Road  
South Service Road  
Stone Church Road East  
Trinity Church Road Extension  
Trinity Road  
Upper Ottawa Street  
Wilson Street West

- iii) Outdoor Storage and Outdoor Assembly shall not exceed 85% of the total lot area;
- iv) Outdoor Storage and Outdoor Assembly shall be set back a minimum of 20.0 metres from any portion of a property lot line abutting a property lot line within a Residential Zone or an Institutional Zone, and shall be screened by a Visual Barrier in accordance with Section 4.19 of this By-law;
- v) Outdoor Storage and Outdoor Assembly shall be screened from view from any abutting street by a Visual Barrier in accordance with Section 4.19 of this By-law.

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|---|---|
| n) Location and Size of Outdoor Display                               | Outdoor Display of goods, materials or equipment shall be permitted only as an accessory use and the following regulations shall apply: <ul style="list-style-type: none"><li>i) Outdoor Display shall be permitted in yard abutting a street, but shall be no closer than 3.0 metres to the lot line;</li><li>ii) In addition to i) above, the area devoted to Outdoor Display shall be limited to a combined maximum of 25% of the Landscaped Area.</li></ul> |
| o) Maximum Gross Floor Area for Accessory Retail and Showroom Area    | 25% of the gross floor area of the principal use or 500 square metres gross floor area, whichever is the lesser.  |
| p) Location Restriction for Children's Play-gym and Gymnastics Studio | Shall only be permitted on lots delineated with the boundaries shown on Figure 3 – Ancaster Business Park of Schedule "F" – Special Figures.  |
| q) Parking  | In accordance with the requirements of Section 5 of this By-law.  |
| r) Accessory Buildings  | <ul style="list-style-type: none"><li>i) In accordance with the requirements of Section 9.4.3 of this By-law;</li><li>ii) Notwithstanding i) above, Section 9.4.3 c) ii) shall not apply.</li></ul>   |

**9.5 GENERAL INDUSTRIAL (M5) ZONE**

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No person shall erect, or use any building in whole or in part, or use any land in whole or in part, within an General Industrial (M5) Zone for any purpose other than one or more of the following uses, or uses accessory thereto. Such erection or use shall also comply with the prescribed regulations:

**9.5.1 PERMITTED USES**

Building and Lumber Supply  
Establishment  
Building or Contracting Supply  
Establishment

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Bulk Fuel and Oil Storage Establishment  
Commercial Motor Vehicle Sales, Rental  
and Service Establishment  
Commercial Motor Vehicle Washing  
Establishment  
Commercial Parking Facility  
Communications Establishment  
Contractor's Establishment  
Courier Establishment  
Dry Cleaning Plant  
Equipment and Machinery Sales, Rental  
and Service Establishment  
Financial Establishment  
Industrial Administrative Office  
Laboratory  
Labour Association Hall  
Landscape Contracting Establishment  
Manufacturing  
Motor Vehicle Collision Repair  
Establishment  
Motor Vehicle Service Station  
Motor Vehicle Washing Establishment  
Office  
Private Power Generation Facility  
Repair Service  
Research and Development  
Establishment  
Restaurant  
Salvage Yard  
Surveying, Engineering, Planning or  
Design Business  
Towing Establishment  
Trade School  
Tradesperson's Shop  
Transport Terminal  
Warehouse  
Waste Processing Facility  
Waste Transfer Facility

**9.5.2 PROHIBITED USES**

Notwithstanding Section 9.5.1, the following uses are prohibited, even as accessory uses:

Day Nursery  
Dwelling Unit

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**9.5.3 REGULATIONS**

- |   |   |
|---|---|
| a) Minimum Lot Area   | 4000.0 square metres  |
| b) Minimum Yard Abutting a Street   | 3.0 metres  |
| c) Planting Strip Abutting a Street   | Minimum 3.0 metre wide Planting Strip shall be provided and maintained abutting Burlington Street and Windemere Road, except for points of ingress and egress, and shall not include outdoor display.   |
| d) Limitation on Outdoor Storage and Outdoor Assembly   | Outdoor Storage and Outdoor Assembly shall not exceed 85% of the total lot area.  |
| e) Gross Floor Area for Office Use  | Maximum gross floor area for Office use within an individual building, excluding accessory office, shall be limited to 3,000 square metres.   |
| f) Maximum Gross Floor Area for Industrial Administrative Office or Surveying, Engineering, Planning or Design Business | An Industrial Administrative Office or a Surveying, Engineering, Planning or Design Business shall be limited to a gross floor area of less than 10,000 square metres on a lot.   |
| g) Location Restriction of Waste Processing Facility and Waste Transfer Facility  | In addition to the regulations of Section 9.5.3, any building, structure or land used for a Waste Processing Facility or a Waste Transfer Facility, shall be located a minimum of 300.0 metres from a Residentially Zoned or Institutionally Zoned property lot line. |
| h) Maximum Gross Floor Area for Accessory Retail and Showroom Area  | 25% of the gross floor area of the principal use or 500.0 square metres gross floor area, whichever is the lesser.  |
| i) Parking  | In accordance with the requirements of Section 5 of this By-law.  |
| j) Accessory Buildings  | In accordance with the requirements of Section 9.5.3 of this By-law.  |

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**9.6 LIGHT INDUSTRIAL (M6) ZONE**

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No person shall erect, or use any building in whole or in part, or use any land in whole or in part, within an Light Industrial (M6) Zone for any purpose other than one or more of the following uses, or uses accessory thereto. Such erection or use shall also comply with the prescribed regulations:

**9.6.1 PERMITTED USES**

Building and Lumber Supply  
Establishment  
Building or Contracting Supply  
Establishment  
Commercial Motor Vehicle Sales, Rental  
and Service Establishment  
Commercial Parking Facility  
Communications Establishment  
Conference or Convention Centre  
Contractor's Establishment  
Courier Establishment  
Equipment and Machinery Sales, Rental  
and Service Establishment  
Financial Establishment  
Hotel  
Industrial Administrative Office  
Laboratory  
Labour Association Hall  
Manufacturing  
Medical Clinic  
Medical Office  
Motor Vehicle Collision Establishment  
Motor Vehicle Service Station  
Motor Vehicle Washing Establishment  
Office  
Personal Services  
Private Power Generation Facility  
Repair Service  
Research and Development  
Establishment  
Restaurant  
Surveying, Engineering, Planning or  
Design Business  
Trade School  
Tradesperson's Shop  
Transport Terminal  
Transportation Depot  
Warehouse

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**9.6.2 PROHIBITED USES**

- i) Notwithstanding Section 9.6.1, the following types of manufacturing uses are prohibited, even as an accessory use:

Beverage Distillation  
Breweries

Manufacturing of Asbestos,  
Phosphate or Sulphur  
Products

Primary Production of Chemicals,  
Synthetic Rubber, Plastic,  
Asphalt or Cement, not  
including mixing, blending,  
treatment or similar process

Processing or Refining of  
Petroleum or Coal

Processing, Milling or Packaging of  
Animal Feed

Salvage Yard

Slaughtering, Eviscerating,  
Rendering or Cleaning of  
Meat, Poultry or Fish or by-  
products thereof

Smelting of Ore or Metal

Tanning or Chemical Processing of  
Pelts or Leather

Vulcanizing of Rubber or Rubber  
Products

Explosives Manufacturing

Pulp and Paper Mills

- ii) Notwithstanding Section 9.6.1, the following uses are prohibited, even as accessory uses:

Day Nursery  
Dry Cleaning Plant  
Dwelling Unit  
Place of Worship

**9.6.3 REGULATIONS**

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- |   |  |
|---|--|
| a) Minimum Lot Area   | 4000.0 square metres   |
| b) Minimum Lot Width  | 45.0 metres  |
| c) Minimum Yard Abutting a Street   | 3.0 metres   |
| d) Minimum Yard Abutting a Residential Zone or an Institutional Zone  | 6.0 metres from any portion of a property lot line abutting a property lot line within a Residential Zone or an Institutional Zone.  |
| e) Maximum Building Height Abutting a Residential Zone or an Institutional Zone   | i) 11.0 metres;<br><br>ii) In addition to i) above, maximum building height may be equivalently increased as yard increases beyond minimum yard requirement established in 9.6.3 d) above.                       |
| f) Location Restriction of Manufacturing Uses   | Any building or structure used for Manufacturing shall be setback a minimum 20.0 metres from any portion of a property lot line abutting a property lot line within a Residential Zone or an Institutional Zone. |
| g) Restriction of Outdoor Training Facilities associated with a Trade School  | Any outdoor training facilities shall be prohibited.   |
| h) Maximum Combined Gross Floor Area for Medical Clinic and Medical Office  | Shall be limited to a combined total of 3,000 square metres gross floor area on a lot.   |
| i) Gross Floor Area for Office Use  | Maximum gross floor area for Office use within an individual building, excluding accessory office, shall be limited to 3,000 square metres.  |
| j) Maximum Gross Floor Area for Industrial Administrative Office or Surveying, Engineering, Planning or Design Business | An Industrial Administrative Office or a Surveying, Engineering, Planning or Design Business shall be limited to a gross floor area of less than 10,000 square metres on a lot.                                  |



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- k) Landscaped Area and Planting Strip Requirements
- i) Minimum 3.0 metre wide Landscaped Area shall be provided and maintained abutting a street, except for points of ingress and egress;
  - ii) Where a property lot line abuts a property lot line within a Residential Zone or an Institutional Zone, a minimum 3.0 metre wide Planting Strip shall be provided and maintained.
- l) Visual Barrier
- Shall be provided along that portion of a property lot line abutting a property lot line within a Residential Zone or an Institutional Zone, in accordance with Section 4.19 of this By-law.
- m) Location and Screening of Outdoor Storage and Outdoor Assembly
- Outdoor Storage and Outdoor Assembly of goods, materials or equipment shall be permitted only as an accessory use and the following regulations shall apply:
- i) Outdoor Storage and Outdoor Assembly shall not be permitted in a required yard abutting a street;
  - ii) In addition to i) above, Outdoor Storage and Outdoor Assembly shall not be permitted in a Front Yard or a Flankage Yard along Barton Street/Barton Street East;
  - iii) Outdoor Storage and Outdoor Assembly shall not exceed 85% of the total lot area;
  - iv) Outdoor Storage and Outdoor Assembly shall be set back a minimum of 20.0 metres from any portion of a property lot line abutting a property lot line within a Residential Zone or an Institutional Zone, and shall be screened by a Visual Barrier in accordance with

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Section 4.19 of this By-law;

- v) Outdoor Storage and Outdoor Assembly shall be screened from view from any abutting street by a Visual Barrier in accordance with Section 4.19 of this By-law.
  
  - n) Location and Size of Outdoor Display      Outdoor Display of goods, materials or equipment shall be permitted only as an accessory use and shall be permitted in a yard abutting a street, but shall be no closer than 3.0 metres to the lot line.
  
  - o) Maximum Gross Floor Area for Accessory Retail and Showroom Area      25% of the gross floor area of the principal use or 500.0 square metres gross floor area, whichever is the lesser.
  
  - p) Parking      In accordance with the requirements of Section 5 of this By-law.
  
  - q) Accessory Buildings      In accordance with the requirements of Section 9.6.3 of this By-law.”
6. That Schedule “A” – Zoning Maps of By-law 05-200 is hereby amended as follows:
- a) by including the Industrial Zone boundaries, as shown on the Maps numbered 514-515, 548-549, 580-582, 611-613, 642, 749-751, 789-792, 817, 828-834, 859, 870-877, 908, 912-919, 948-949, 955-962, 990-992, 1000-1004, 1046-1051, 1093-1099, 1144-1150, 1198-1204, 1238, 1254-1260, 1309-1313, 1347-1348, 1399-1400, 1433-1435, 1450-1453, 1481-1484, 1498-1501, 1528-1531, 1545-1548, 1573-1574, 1590-1593, 1634-1637, 1676-1678 and 1717, attached in Schedule “1” of this By-law;
  
  - b) by including the Open Space and Park Zone boundaries, as shown on the Maps numbered 549, 580- 581, 582, 611-612, 749-751, 790-792, 830, 832-833, 873-877, 915-916, 918-919, 948-949, 961-962, 990-991, 1003-1004, 1047, 1049-1050, 1093, 1095-1096, 1256, 1313, 1399-1400, 1433, 1450-1452, 1482-1484, 1500-1501, 1528-1531, 1547-1548, 1590-1591, 1634-1635, 1676, attached in Schedule “1” of this By-law;

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- c) that Zone Maps 1003 and 1047 be amended by changing the zoning from the Neighbourhood Institutional (I1) Zone to the Light Industrial (M6, 366) Zone, for the property known as 734 Rennie Street, the extent and boundaries of which are shown on Schedule "2" annexed hereto and forming part of this By-law.
- d) that Zone Map 950 be amended by changing the zoning from the Research and Development (M1) Zone to the Research and Development (M1, 363) Zone, for the property known as 95 Frid Street, the extent and boundaries of which are shown on Schedule "3" annexed hereto and forming part of this By-law.
- e) that Zone Map 1451 be amended by changing the zoning from the Neighbourhood Institutional (I1) Zone to the Prestige Business Park (M3, 369) Zone, for the property known as 1338 Stone Church Road East, the extent and boundaries of which are shown on Schedule "4" annexed hereto and forming part of this By-law.
- f) that Zone Map 1003 be amended by changing the zoning from the Community Park (P2) Zone to the Light Industrial (M6) Zone, for the property located at the north east corner of Woodward Avenue and Brampton Street (Woodward Wastewater Treatment Plant), the extent and boundaries of which are shown on Schedule "5" annexed hereto and forming part of this By-law.
- g) that Zone Maps 919 and 961 be amended by changing the zoning from the Community Park (P2) Zone to the Light Industrial (M6) Zone, for the property located at the south east corner of Woodward Avenue and Burlington Street East (Woodward Wastewater Treatment Plant), the extent and boundaries of which are shown on Schedule "6" annexed hereto and forming part of this By-law.
- h) that Zone Maps 961 and 962 be amended by changing the zoning from the Community Park (P2) Zone to the Light Industrial (M6) Zone and Conservation/Hazard Land (P5) Zone, for a portion of the property known as 700 Woodward Avenue (Woodward Wastewater Treatment Plant), the extent and boundaries of which are shown on Schedule "7" annexed hereto and forming part of this By-law.
- i) that Zone Maps 919, 961 and 962 be amended by changing the zoning from the Neighbourhood Institutional (I1) Zone to the Light Industrial (M6) Zone and Conservation/Hazard Land (P5) Zone, for a portion of the property known as 700 Woodward Avenue

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(Woodward Wastewater Treatment Plant), the extent and boundaries of which are shown on Schedule "8" annexed hereto and forming part of this By-law.

7. That Schedule "C" – Special Exceptions of By-law 05-200 is hereby amended by adding additional Special Exceptions as follows:

"350. In addition to the uses permitted in Section 9.6.1, on those lands zoned Light Industrial (M6) Zone, identified on Maps 870, 871, 913, 914, 915, 916, 956, 957, 958, 959, 1000, 1001 and 1002 of Schedule "A" – Zoning Maps and described as addresses:

480 Kenilworth Avenue North	(Maps 958, 959, 1000, 1001)
560 Ottawa Street North	(Maps 915, 916, 957, 958)
464 Rennie Street	(Map 1002)
245 Lottridge Street	(Maps 913, 914, 956)
495 Wentworth Street North	(Maps 870, 871)
217-223 Lottridge Street, 103 Clinton Street	(Map 956)

the existing Waste Management Facility shall also be permitted.

351. Notwithstanding Section 9.5.3 g), on those lands zoned General Industrial (M5) Zone, identified on Maps 871, 914, 959, 960, 1001 and 1002 of Schedule "A" – Zoning Maps and described as addresses:

77 Brant Street	(Map 871)
15 Biggar Avenue	(Map 914)
1640 Brampton Street	(Maps 959, 960, 1001, 1002)

the existing Waste Management Facility shall also be permitted.

352. In addition to the uses permitted in Section 9.3.1, on those lands zoned Prestige Business Park (M3) Zone, identified on Maps 1147 and 1198 of Schedule "A" – Zoning Maps and described as 331-337 Leaside Avenue, the existing Waste Management Facility shall also be permitted.

353. Notwithstanding Section 9.2.3 f), on those lands zoned General Business Park (M2) Zone, identified on Map 1201 of Schedule "A" – Zoning Maps and described as 350 Jones Road, the existing Waste Management Facility shall also be permitted.

354. In addition to the uses permitted in Section 9.3.1, on those lands zoned Prestige Business Park (M3) Zone, identified on Maps 1634, 1676 and 1677 of Schedule "A" – Zoning Maps and described as addresses:

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899 Nebo Road (Maps 1634, 1676, 1677)  
900 Nebo Road (Maps 1676)

a Waste Processing Facility and a Waste Transfer Facility shall also be permitted.

355. In addition Section 9.6.1 and Section 9.6.3, on those lands zoned Light Industrial (M6) Zone, identified on Maps 871 and 913 of Schedule "A" – Zoning Maps and described as 70 Brant Street and 6 Hillyard Street, a Waste Processing Facility shall also be permitted, subject to the following special provisions:

- a. the Waste Processing Facility shall be limited to the processing of latex paint; and,
- b. the Waste Processing Facility shall only be permitted within the existing building.

356. Notwithstanding Section 9.2.3 f), on those lands zoned General Business Park (M2) Zone, identified on Map 1147 of Schedule "A" – Zoning Maps and described as 384-390 Millen Road, a Waste Processing Facility shall also be permitted.

357. In addition to the uses permitted in Section 9.6.1, on those lands zoned Light Industrial (M6) Zone, identified on Maps 914 and 956 of Schedule "A" – Zoning Maps and described as 239 Lottridge Street, the existing Hazardous Waste Management Facility shall also be permitted.

358. In addition to the uses permitted in Section 9.5.1, on those lands zoned General Industrial (M5) Zone, identified on Maps 871, 913 and 914 of Schedule "A" – Zoning Maps and described as addresses:

227 Brant Street (Maps 871, 913, 914)  
52 Imperial Street (Map 914)

the existing Hazardous Waste Management Facility shall also be permitted.

359. In addition to the uses permitted in Section 9.3.1, on those lands zoned Prestige Business Park (M3) Zone, identified on Maps 1498 and 1499 of Schedule "A" – Zoning Maps and described as 1650 Upper Ottawa Street, the existing Hazardous Waste Management Facility shall also be permitted.

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360. In addition to the uses permitted in Section 9.2.1 and Section 9.3.1, on those lands zoned General Business Park (M2) Zone and Prestige Business Park (M3) Zone, identified on Maps 1481 and 1528 of Schedule "A" – Zoning Maps and described as 1574 Wilson Street West, Units 1, 2 and 3, the existing Hazardous Waste Management Facility shall also be permitted.
361. In addition to the uses permitted in Section 9.3.1, on those lands zoned Prestige Business Park (M3) Zone, identified on Maps 1050, 1051, 1096 and 1097 of Schedule "A" – Zoning Maps and described as 144-190 South Service Road, Units 162-178, a Hazardous Waste Management Facility shall also be permitted.
362. In addition to the uses permitted in Section 9.3.1 and Section 9.5.1, on those lands zoned Prestige Business Park (M3) Zone and General Industrial (M5) Zone, identified on Maps 1048, 1499 and 1546 of Schedule "A" – Zoning Maps and described as addresses:
- |                   |                   |
|-------------------|-------------------|
| 37 Kilbride Road  | (Maps 1499, 1546) |
| 460 Kenora Avenue | (Map 1048)        |
- a Waste Management Facility shall also be permitted.
363. In addition to the uses permitted in Section 9.1.1; Section 9.2.1 and Section 9.3.1, on those lands zoned Research and Development (M1) Zone, General Business Park (M2) Zone and Prestige Business Park (M3) Zone, identified on Maps 950, 1096 and 1501 of Schedule "A" – Zoning Maps and described as addresses:
- |                 |            |
|-----------------|------------|
| 95 Frid Street  | (Map 950)  |
| 30 Harlowe Road | (Map 1501) |
| 456 Grays Road  | (Map 1096) |
- a Gymnastics Studio shall also be permitted.
364. In addition to the uses permitted in Section 9.3.1, on those lands zoned Prestige Business Park (M3) Zone, identified on Maps 1147 and 1198 of Schedule "A" – Zoning Maps and described as 371-383 Barton Street, a Restaurant shall also be permitted.
365. In addition to the uses permitted in Section 9.3.1, on those lands zoned Prestige Business Park (M3) Zone, identified on Maps 1450 and 1451 of Schedule "A" – Zoning Maps and described as 45 Nebo Road, a Pet Food Store shall also be permitted.



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369. In addition to the uses permitted in Section 9.2.1, Section 9.3.1 and Section 9.4.1 and notwithstanding Section 9.3.2 ii) and 9.4.2 ii), on those lands zoned General Business Park (M2) Zone, Prestige Business Park (M3) Zone and Business Park Support (M4) Zone, identified on Maps 1096, 1145, 1450, 1451, 1452, 1501, 1547, 1548 and 1592 of Schedule "A" – Zoning Maps and described as addresses:

1338 Stone Church Road East	(Map 1451)
1545 Stone Church Road East	(Map 1452)
1150 Stone Church Road East	(Map 1450)
60 Harlowe Road, Units 12 and 13	(Map 1501)
75 Harlowe Road	(Map 1501)
1562 Rymal Road East	(Maps 1547, 1548, 1592)
2799 Barton Street East	(Maps 1096, 1145)
1439 Upper Ottawa Street	(Map 1450)

a Place of Worship shall also be permitted.

370. In addition to the uses permitted in Section 9.3.1 and notwithstanding Section 9.3.2 ii), on those lands zoned Prestige Business Park (M3) Zone, identified on Maps 1500, 1501, 1547, and 1548 of Schedule "A" – Zoning Maps and described as 250 Pritchard Road, a Place of Worship shall also be permitted.
371. In addition to the uses permitted in Section 9.6.1 and notwithstanding Section 9.6.2 i), on those lands zoned Light Industrial (M6) Zone, identified on Maps 870 and 871 of Schedule "A" – Zoning Maps and described as 495 Wentworth Street North, a Salvage Yard shall also be permitted.
372. Notwithstanding Section 5.2.1 a), Section 5.6 c) only as it relates to the parking requirement for Manufacturing and Section 9.3.3 b) ii), on those lands zoned Prestige Business Park (M3) Zone, identified on Maps 1591 and 1635 of Schedule "A" – Zoning Maps and described as 863 Nebo Road, the following special provisions shall apply:
- Loading doors and associated loading facilities shall be permitted within a Front Yard, subject to being screened from view by a Visual Barrier in accordance with Section 4.19 of this By-law; and,
  - Parking for Manufacturing                      A minimum of 199 parking spaces shall be provided and maintained.



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c. Section 9.3.3 b) ii) shall not apply.

373. In addition to the uses permitted in Section 9.2.1 and Section 9.3.1, on those lands zoned General Business Park (M2) Zone and Prestige Business Park (M3) Zone, identified on Maps 1146, 1147, 1198 and 1199 of Schedule "A" – Zoning Maps and described as addresses:

299 Barton Street (Mountain View Public School) (Map 1146)  
481 Barton Street, 340-346 Leaside Avenue (Mohawk College of Applied Arts and Technology - STARRT Institute) (Maps 1147, 1198 and 1199)

an Educational Establishment shall also be permitted.

374. In addition to the uses permitted in Section 9.3.1, on those lands zoned Prestige Business Park (M3) Zone, identified on Maps 1203, 1204, 1257, 1258 and 1452 of Schedule "A" – Zoning Maps and described as addresses:

1599 Stone Church Road East (Map 1452)  
395 Lewis Road (Maps 1203, 1204, 1257, 1258)

a Home Furnishings Retail Establishment shall also be permitted.

375. On those lands affected by this subsection and zoned General Industrial (M5) Zone and Light Industrial (M6) Zone, identified on Maps 829, 870, 871, 912, 913, 914, 915, 956, 957, 958 and 959 of Schedule "A" – Zoning Maps, the following special provisions shall also apply:

a. In addition to the uses permitted in Section 9.5.1 and Section 9.6.1 and notwithstanding Section 9.5.2 and Section 9.6.2 ii), the existing Dwelling Unit(s) shall also be permitted;

b. Notwithstanding Section 9.5.3 b), 9.6.3 b) and Section 9.6.3 d), alteration and extension to the existing Dwelling Unit(s) shall be permitted subject to the following Regulations:

i) Minimum Front Yard 6.0 metres

ii) Maximum Building Height 14.0 metres

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- c. In addition to Section 9.5.3 and Section 9.6.3, alteration and extension to the existing Dwelling Unit(s) shall be permitted subject to the following Regulations:
- i) Minimum Side Yard 0.6 metres
  - ii) Minimum Rear Yard 7.5 metres
376. Notwithstanding Section 9.3.3 b) and Section 9.3.3 i), within the boundaries of the lands affected by this subsection and zoned Prestige Business Park (M3) Zone, identified on Maps 1434 and 1483 of Schedule "A" – Zoning Maps, the following special provisions shall also apply:
- a. Garner Road West shall be deemed to be the front lot line;
  - b. Minimum Yard Abutting Osprey Drive 3.0 metres
  - c. Landscaped Area Abutting Osprey Drive
    - i) Minimum 3.0 metre width shall be provided and maintained, except for points of ingress and egress;
    - ii) In addition to i) above, where a parking space, aisle or driveway is located in a yard abutting Osprey Drive, a minimum 3.0 metre wide Planting Strip shall be required and maintained between the said parking space, aisle or driveway and Osprey Drive, except for points of ingress and egress.
377. In addition to the uses permitted in Section 9.3.1, on those lands zoned Prestige Business Park (M3) Zone, identified on Map 1482 of Schedule "A" – Zoning Maps and described as 1492 Wilson Street West, the following uses shall also be permitted:
- a. Restaurant



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the said parking space, aisle or driveway and Sandhill Drive, except for points of ingress and egress.

381. In addition to the uses permitted in Section 9.3.1, on those lands zoned Prestige Business Park (M3) Zone, identified on Maps 1434 and 1483 of Schedule "A" – Zoning Maps and described as 1034 Garner Road West, the following uses shall also be permitted:
- a. Restaurant
  - b. the existing Dwelling Unit
382. In addition Section 9.2.1 and Section 9.2.3, on those lands zoned General Business Park (M2) Zone, identified on Map 1529 of Schedule "A" – Zoning Maps and described as 611 Tradewind Drive, an Office shall also be permitted, provided that the maximum gross floor area shall not be 10,000 square metres or greater.
383. In addition to the uses permitted in Section 9.3.1, on those lands zoned Prestige Business Park (M3) Zone, identified on Maps 1433 and 1482 of Schedule "A" – Zoning Maps and described as 0 Portia Drive, the following uses shall also be permitted:
- a. Motor Vehicle Sales and Service Establishment
  - b. Veterinary Service
  - c. Retail
  - d. Farm Product Supply Dealer
  - e. Major Recreational Vehicle Sales and Service Establishment
384. In addition to the Regulations of Section 9.3.3, on those lands zoned Prestige Business Park (M3) Zone, identified on Map 1433 of Schedule "A" – Zoning Maps and described as 0 Portia Drive, the Minimum Rear Yard shall be 15.0 metres.
385. Notwithstanding Section 9.6.2 i), on those lands zoned Light Industrial (M6) Zone, identified on Map 859 of Schedule "A" – Zoning Maps and described as 32-40 Head Street, the Primary Production of Chemicals as part of the existing Manufacturing use shall also be permitted.

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386. In addition to the uses permitted in Section 9.2.1 and Section 9.3.1, on those lands zoned General Business Park (M2) Zone and Prestige Business Park (M3) Zone, identified on Maps 580, 581, 611 and 612 of Schedule "A" – Zoning Maps and described as 27 Highway 5 West, Recreation shall also be permitted.
387. In addition to the uses permitted in Section 9.6.1 and notwithstanding Section 9.6.2 i), Section 9.6.3 j) i) and Section 9.6.3 l) v), on those lands zoned Light Industrial (M6) Zone, identified on Maps 871 and 913 of Schedule "A" – Zoning Maps and described as 80 Brant Street, the following special provisions shall also apply:
- a. A Salvage Yard shall also be permitted;
  - b. Section 9.6.3 j) i) and Section 9.6.3 l) v) shall not apply.
388. Notwithstanding Section 9.3.3 b) and Section 9.3.3 i), within the boundaries of the lands affected by this subsection and zoned Prestige Business Park (M3) Zone, identified on Maps 515 and 549 of Schedule "A" – Zoning Maps, the following special provisions shall also apply:
- a. Minimum Yard Abutting a Street 3.0 metres
  - b. Landscaped Area
    - i) Minimum 3.0 metre width shall be provided and maintained, except for points of ingress and egress;
    - ii) In addition to i) above, where a parking space, aisle or driveway is located in a yard abutting a street, a minimum 3.0 metre wide Planting Strip shall be required and maintained between the said parking space, aisle or driveway and a street, except for points of ingress and egress.
389. On those lands zoned General Business Park (M2) Zone, identified on Maps 580 and 611 of Schedule "A" – Zoning Maps and described as 91 Highway 5 West (Coreslab), the following special provisions shall also apply:

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- a. In addition to Section 9.2.3 c), the following Landscaped Area regulations shall also apply:
- i) Minimum 5.0 metre width shall be provided and maintained along the northerly lot line;
  - ii) Minimum 5.0 metre width shall be provided and maintained along the westerly lot line from the rear lot line south to a distance of 408 metres;
  - iii) Minimum 50.0 metre width, including a minimum 7.5 metre high berm, shall be provided and maintained along the easterly lot line from the rear lot line south to a distance of 243 metres; and,
  - iv) Minimum 10.0 metre width, including a minimum 3.5 metre high noise wall, shall be provided and maintained along the easterly lot line from the southerly limit of the Landscaped Area as required in a. iii) above, south to a distance of 165 metres.
- b. In addition to Section 9.2.3 d), the following regulation shall also apply:
- |                 |  |
|-----------------|--|
| Outdoor Storage | Upon removal of the "H" Holding symbol, the lands within 20.0 metres of the westerly limit of the Landscaped Area, as required in a. iii) above, shall only be used for the outdoor storage of operational assets of the permitted Manufacturing use, to a maximum height of 3.0 metres. |
|-----------------|--|
- c. In addition to Section 9.2.3, the following regulation shall also apply:
- |                    |   |
|--------------------|---|
| Easterly Side Yard | Minimum 300 metres for all Buildings and Structures within 408 metres of the northerly rear lot line. |
|--------------------|---|
- d. An accessory crushing operation shall only be permitted on the west side of the existing Building or Structure.

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390. In addition to the uses permitted in Section 9.3.1, on those lands zoned Prestige Business Park (M3) Zone, identified on Maps 1500 and 1501 of Schedule "A" – Zoning Maps and described as 320 Anchor Road, a Correction Facility shall also be permitted.
391. In addition to the uses permitted in Section 9.3.1, on those lands zoned Prestige Business Park (M3) Zone, identified on Maps 1451 and 1500 of Schedule "A" – Zoning Maps and described as 4-6 Dartnall Road, the existing Garden Centre shall also be permitted.
392. In addition to the uses permitted in Section 9.3.1, on those lands zoned Prestige Business Park (M3) Zone, identified on Map 1500 of Schedule "A" – Zoning Maps and described as 10 Dartnall Road, the existing Retail and existing Farm Product Supply Dealer shall also be permitted.
393. In addition to the uses permitted in Section 9.3.1 and notwithstanding Section 9.3.2 ii), on those lands zoned Prestige Business Park (M3) Zone, identified on Map 1500 of Schedule "A" – Zoning Maps and described as 81 Dartnall Road, the following uses shall also be permitted:
  - a. the existing Dwelling Unit(s)
  - b. a Snow Removal Service
394. In addition to the uses permitted in Section 9.3.1, on those lands zoned Prestige Business Park (M3) Zone, identified on Maps 1499 and 1546 of Schedule "A" – Zoning Maps and described as 1188 Rymal Road East, the following uses shall also be permitted:
  - a. Retail
  - b. Home Furnishings Retail Establishment
  - c. Restaurant
  - d. Personal Services
  - e. Medical Office
395. In addition to the uses permitted in Section 9.3.1, on those lands zoned Prestige Business Park (M3) Zone, identified on Map 1547 of Schedule "A" – Zoning Maps and described as 245 Dartnall Road, an Animal Shelter shall also be permitted.

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396. On those lands zoned Prestige Business Park (M3) Zone, identified on Maps 1452 and 1501 of Schedule "A" – Zoning Maps and described as 1520 Stone Church Road East, the following special provisions shall apply:
- a. Notwithstanding Section 9.3.3 j), the following regulation shall apply:
    - Landscaped Area and Planting Requirements i) Minimum 3.5 metre wide Landscaped Area shall be provided and maintained abutting Stone Church Road East, except for points of ingress and egress;
    - Strip ii) Minimum 2.6 metre wide Landscaped Area shall be provided and maintained abutting Anchor Road, except for points of ingress and egress;
  - b. In addition to Section 9.3.3, the following regulations shall also apply:
    - Special Regulations for Hotel i) Maximum of 53 rooms
    - ii) Maximum Building Height: 27.0 metres and 8 storeys
  - c. Notwithstanding Section 5.6 c), only as it relates to the parking requirements for Conference or Convention Centre and Hotel, the following shall apply:
    - Parking for the Existing Conference or Convention Centre and Hotel A minimum of 175 parking spaces shall be provided and maintained.
  - d. Notwithstanding Section 5.1 a) i), a total of 44 of the required 175 parking spaces shall be provided and maintained at the property known as 270 Anchor Road.
397. In addition to the uses permitted in Section 9.3.1, on those lands zoned Prestige Business Park (M3) Zone, identified on Map 1199 of



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Schedule "A" – Zoning Maps and described as 615 Barton Street, a Private Club shall also be permitted.

398. In addition Section 9.2.1, Section 9.2.3, Section 9.3.1 and Section 9.3.3, on those lands zoned General Business Park (M2) Zone and Prestige Business Park (M3) Zone, identified on Map 1146 of Schedule "A" – Zoning Maps and described as 263-265 Barton Street and 333 Green Road, the following special provisions shall also apply:
- a. The following uses shall also be permitted:
    - i) Commercial School
    - ii) Financial Institution
    - iii) Retail
  - b. The uses identified in a. above, shall only be permitted within the existing buildings.
399. In addition to Section 9.3.1 and Section 9.3.3, on those lands zoned Prestige Business Park (M3) Zone, identified on Maps 1149 and 1200 of Schedule "A" – Zoning Maps and described as 650 South Service Road, the following special provisions shall also apply:
- a. One Freestanding Restaurant and one Freestanding Financial Establishment shall also be permitted, subject to the following regulations:
    - i) Notwithstanding a. above, a Restaurant and a Financial Establishment shall only be permitted where a building(s) has been constructed within 100 metres of Fruitland Road and where that building(s) has a minimum total gross floor area of 2,700 square metres.
    - ii) No drive through facility shall be permitted even as an accessory use.
    - iii) The minimum gross floor area of a Restaurant shall be 550 square metres.
    - iv) The minimum gross floor area of a Financial Establishment shall be 550 square metres.
    - v) The maximum combined floor area for freestanding restaurants and freestanding financial establishments shall be 1,500 square metres.
    - vi) The minimum setback from Fruitland Road for a Freestanding Restaurant and a Freestanding

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Financial Establishment shall be 100 metres.

400. In addition to the uses permitted in Section 9.3.1, on those lands zoned Prestige Business Park (M3) Zone, identified on Map 1200 of Schedule "A" – Zoning Maps and described as 348-354 Fruitland Road, a Landscape Contracting Establishment shall also be permitted.
401. In addition to the uses permitted in Section 9.3.1 and notwithstanding Section 9.3.2 i), on those lands zoned Prestige Business Park (M3) Zone, identified on Map 1149 of Schedule "A" – Zoning Maps and described as 404 Fruitland Road, the existing Motor Vehicle Wrecking Establishment shall also be permitted.
402. In addition to the uses permitted in Section 9.2.1 and Section 9.3.1, within the boundaries of the lands affected by this subsection and zoned General Business Park (M2) Zone and Prestige Business Park (M3) Zone, identified on Maps 1203, 1204, 1257 and 1258 of Schedule "A" – Zoning Maps, the following uses shall also be permitted:
- a. Home Furnishings Retail Establishment
  - b. Restaurant
403. In addition to Section 9.2.1, Section 9.2.3 and Section 9.3.1, on those lands zoned General Business Park (M2) Zone and Prestige Business Park (M3) Zone, identified on Maps 1257 and 1310 of Schedule "A" – Zoning Maps, and described as 1081 Barton Street, the following special provisions shall also apply:
- a. The following uses shall also be permitted:
    - i) Financial Establishment
    - ii) Office
    - iii) Conference or Convention Centre
  - b. In addition to Section 9.2.3, the following regulation shall apply to Office Use:

Maximum gross floor area for Office use within an individual building, excluding accessory office, shall be limited to 3,000 square metres.

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404. On those lands zoned Prestige Business Park (M3) Zone, identified on Maps 1260, 1312 and 1313 of Schedule "A" – Zoning Maps and described as 1640 South Service Road, the following special provisions shall also apply:
- a. In addition to Section 9.3.1, the following uses shall also be permitted:
    - i) Tourist Information Centre
    - ii) Travel Plaza
    - iii) Commercial Recreation
    - iv) Financial Establishment
    - v) Medical Clinic
    - vi) Restaurant accessory to all permitted uses
  - b. Notwithstanding Section 9.3.3 a), Section 9.3.3 b) and Section 9.3.3 i), the following Regulations shall apply:
    - i) Minimum Lot Area 6,000 square metres
    - ii) Minimum Lot Width 50.0 metres
    - iii) Minimum Front Yard for all uses except a Travel Plaza 14.0 metres
    - iv) Minimum Landscaped Open Space 10 percent of the lot area, and which shall include the following:
      - 1. A landscaped strip having a minimum width of 7.5 metres shall be provided and maintained adjacent to any street except for points of ingress and egress;
      - 2. A landscaped strip having a minimum width of 4.0 metres shall be provided

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and maintained along the easterly lot line, save and except for that portion of the lands zoned Conservation / Hazard Lands (P5) Zone;

3. Notwithstanding the landscaped strip requirements identified in 2. above, no landscaped strip shall be required to be provided on the lands adjacent to the lands zoned Conservation/Hazard Lands (P5) Zone;

4. A landscaped strip having a minimum width of 1.5 metres shall be provided and thereafter maintained adjacent to the southerly and westerly lot lines.

c. Notwithstanding Section 9.3.3 b) and in addition to b. above, the following Front Yard Requirements shall apply to a Travel Plaza:

i) Maximum Front Yard (excluding setback to fuel pump islands, fuel pumps, light standards and signage) 72.0 metres

ii) Minimum Front Yard to Motor Vehicle and Recreational Vehicle Fuel Pump Islands and Propane Dispensing Area 75.0 metres

iii) Minimum Front Yard to Commercial Motor Vehicle and Heavy 120.0 metres

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Motor Vehicle Fuel  
Pump Islands

- iv) Minimum Front Yard to None  
Light Standards

d. In addition to Section 9.3.3, the following regulations shall also apply:

- i) Maximum Lot Coverage 50 percent
- ii) Minimum Side Yard to Weigh Scale 4.0 metres
- iii) Minimum Rear Yard 7.0 metres
- iv) Within the Travel Plaza, a maximum of 650 square metres of the gross floor area may be used for Retail.

e. Section 9.3.3 g) and Section 9.3.3 h) shall not apply.

405. In addition to the uses permitted in Section 9.2.1 and Section 9.3.1, on those lands zoned General Business Park (M2) Zone and Prestige Business Park (M3) Zone, identified on Map 1256 of Schedule "A" – Zoning Maps and described as 967-977 Barton Street, the existing Mini Golf and the existing Golf Driving Range shall also be permitted.

406. Notwithstanding Section 9.3.2 i), on those lands zoned Prestige Business Park (M3) Zone, identified on Map 1591 of Schedule "A" – Zoning Maps and described as 669 Nebo Road, a manufacturing operation involving the primary production of asphalt or cement shall also be permitted.

407. In addition to Section 9.3.1 and Section 9.3.3 and notwithstanding Section 3 only as it relates to the definition of Building or Contracting Supply Establishment, on those lands zoned Prestige Business Park (M3) Zone, identified on Map 1452 of Schedule "A" – Zoning Maps and described as 1525 Stone Church Road East, the following special provisions shall also apply:

a. The following uses shall also be permitted:

- i) Financial Establishment

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- ii) Restaurant
- iii) Fitness Club
- iv) Bowling Alley, including an accessory restaurant

b. The following Regulation shall also apply:

- |                                   |  |
|-----------------------------------|--|
| Restriction for<br>Restaurant Use | i) Shall be limited to one<br>Restaurant on the property, not<br>including a restaurant accessory<br>to a Bowling Alley;       |
|                                   | ii) In addition to i) above, no drive-<br>thru or stacking lane shall be<br>located between any building and<br>a street line. |

c. For the purpose of this special exception, a Building or Contracting Supply Establishment shall be defined as follows:

“Shall mean the use of land, building or structure, or part thereof, in which building, construction or home improvement materials are stored or offered for wholesale or retail sale.”

408. On those lands zoned Prestige Business Park (M3) Zone, identified on Map 1500 of Schedule “A” – Zoning Maps and described as 50 Dartnall Road, the following special provisions shall also apply:

a. In addition to Section 9.3.3, the following regulations shall also apply:

- i) Minimum Northerly Side Yard 1.4 metres
- ii) Minimum Rear Yard 2.8 metres

b. Notwithstanding Section 9.3.3 i), Section 9.3.3 k) v) and Section 5.2 e), the following regulations shall apply:

- i) Landscaped Area and Planting Strip Requirements 1. Minimum 3.0 metre width shall be provided and maintained, except

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for points of ingress and egress;

2. In addition to i) above, where a parking space, aisle or driveway is located in a yard abutting a street, a minimum 3.0 metre wide Planting Strip shall be required and maintained between the said parking space, aisle or driveway and a street, except for points of ingress and egress.

ii) Screening of Outdoor Storage and Outdoor Assembly      Outdoor Storage and Outdoor Assembly shall be screened from view from any abutting street by a Visual Barrier having a minimum of 1.5 metres and a maximum height 3.0 metres.

iii) Existing Parking Area      The existing gravel parking area, maneuvering space, loading space and access driveway shall also be permitted.

409. Notwithstanding Section 9.3.2 i), on those lands zoned Prestige Business Park (M3) Zone, identified on Maps 1545 and 1546 of Schedule "A" – Zoning Maps and described as 1680 Upper Ottawa Street, a manufacturing operation involving the primary production of asphalt shall also be permitted.

410. In addition to the uses permitted in Section 9.2.1, on those lands zoned General Business Park (M2) Zone, identified on Map 1148 of Schedule "A" – Zoning Maps and described as 560 Seaman Street, Commercial Recreation shall also be permitted.

411. On those lands zoned Light Industrial (M6) Zone, identified on Map 1238 of Schedule "A" – Zoning Maps and described as 1050-1056

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Upper Wellington Street, Section 9.6.3 l) iv) shall not apply to the existing Building and Lumber Supply Establishment.

412. Notwithstanding Section 9.3.1, on those lands zoned Prestige Business Park (M3), identified on Map 1501 of Schedule "A" – Zoning Maps and described as 38 Bigwin Road, a Motor Vehicle Collision Repair Establishment shall not be permitted.
413. Notwithstanding Section 9.3.3 f), on those lands zoned Prestige Business Park (M3) Zone, identified on Maps 1545, 1590 and 1591 of Schedule "A" – Zoning Maps and described as 610 Nebo Road, Section 9.3.3 f) shall not apply.
414. In addition to the uses permitted in Section 9.2.1 and 9.6.1 and notwithstanding Section 9.2.2 i) and Section 9.6.2 i), on those lands zoned General Business Park (M2) Zone and Light Industrial (M6) Zone, identified on Maps 1047, 1048, 1093, 1094, 1095 and 1096 of Schedule "A" – Zoning Maps and described as:

20 Brockley Drive	(Maps 1095, 1096)
21 Brockley Drive	(Map 1095)
330 Nash Road	(Maps 1047, 1048, 1093, 1094)

the following uses shall also be permitted:

- a. Restaurant
  - b. Beverage Distillation
  - c. Breweries
  - d. Processing, Milling or Packaging of Animal Feed
  - e. Slaughtering, Eviscerating, Rendering or Cleaning of Meat, Poultry or Fish or by-products thereof
415. Notwithstanding Section 3 only as it relates to the definition of Warehouse, on those lands zoned Prestige Business Park (M3) Zone, identified on Maps 1547 and 1592 of Schedule "A" – Zoning Maps and described as 90 Glover Road, retail accessory to a Warehouse shall also be permitted.
416. In addition to the uses permitted in Section 9.3.1, on those lands zoned Prestige Business Park (M3) Zone, identified on Map 1634 of



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Schedule "A" – Zoning Maps and described as 858 Nebo Road, a Towing Establishment shall also be permitted.

417. In addition to the uses permitted in Section 9.6.1, on those lands zoned Light Industrial (M6) Zone, identified on Maps 1047 and 1093 of Schedule "A" – Zoning Maps and described as 279 Nash Road and 2255 Barton Street East, Retail shall also be permitted.
418. On those lands zoned Light Industrial (M6) Zone, identified on Maps 915, 916, 957 and 958 of Schedule "A" – Zoning Maps and described as 560 Ottawa Street North, the following shall also apply:
  - a. Section 9.6.3 j) shall not apply to that portion of the property abutting Beach Road;
  - b. In addition to Section 9.6.3, for development abutting Beach Road, a Visual Barrier shall be provided along that portion of the property lot line abutting Beach Road, in accordance with Section 4.19 of this By-law.
419. Notwithstanding Section 9.5, within the boundaries of the lands affected by this subsection and zoned General Industrial (M5) Zone, identified on Maps 958, 1000, 1001 and 1002 of Schedule "A" – Zoning Maps, the following special provisions shall only apply:
  - a. The following uses shall only be permitted:
    - i) Railway terminal and uses, buildings and structures accessory thereto, including commercial, industrial and office uses; and,
    - ii) Transport Terminal.
  - b. Dwelling unit shall be prohibited.
420. In addition to Section 9.2.1 and notwithstanding Section 9.2.3 c) and Section 5.6 c) only as it relates to the parking requirement for a Place of Worship, on those lands zoned General Business Park (M2) Zone, identified on Map 1095 of Schedule "A" – Zoning Maps and described as 80-86 Covington Street and 86 Cascade Street, the following special provisions shall also apply:
  - a. A Place of Worship shall also be permitted;
  - b. Section 9.2.3 c) shall not apply to a Place of Worship;

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- c. Parking for the Place of Worship      A minimum of 188 parking spaces shall be provided and maintained.
421. On those lands zoned General Business Park (M2) Zone, identified on Map 1095 of Schedule "A" – Zoning Maps and described as 70 Covington Street, Section 5.2.1 a) and Section 5.2.1 b) shall not apply to the existing building.
422. In addition to the uses permitted in Section 9.2.1, on those lands zoned General Business Park (M2) Zone, identified on Map 1200 of Schedule "A" – Zoning Maps and described as 29-35 Sunnyhurst Avenue, a Motor Vehicle Service Station shall also be permitted.
423. In addition to Section 9.3.1 and notwithstanding Section 9.3.3 m), on those lands zoned Prestige Business Park (M3) Zone, identified on Maps 1200 and 1254 of Schedule "A" – Zoning Maps and described as 681-695 Barton Street, the following special provisions shall also apply:
- a. A Circus School shall also be permitted;
  - b. The maximum gross floor area devoted to accessory retail and showroom area shall be 1,120 square metres for any permitted use.
424. In addition to the uses permitted in Section 9.3.1, on those lands zoned Prestige Business Park (M3) Zone, identified on Maps 1434 and 1483 of Schedule "A" – Zoning Maps and described as 1046 Garner Road West, the following uses shall also be permitted:
- a. Financial Establishment
  - b. Restaurant
425. Within the boundaries of the lands affected by this subsection and zoned Prestige Business Park (M3) Zone, identified on Maps 1636 and 1637 of Schedule "A" – Zoning Maps, the following special provisions shall also apply:
- a. Notwithstanding Section 9.3.3 a), the following regulations shall apply:
    - i) Minimum Lot Area      3,000 square metres
    - ii) Minimum Lot Width      25.0 metres

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- b. Notwithstanding Section 9.3.2 ii) and Section 9.3.3 b) and in addition to Section 9.3.3, an accessory dwelling unit shall also be permitted, subject to the following regulations:
- |                           |                        |
|---------------------------|------------------------|
| i) Yard Abutting a Street | 1. Minimum 6.0 metres; |
|                           | 2. Maximum 15.0 metres |
| ii) Maximum Dwelling Size | 180.0 square metres    |
- c. Section 9.3.3 j) ii) and Section 9.3.3 n) shall not apply.
426. In addition to the uses permitted in Section 9.3.1, on those lands zoned Prestige Business Park (M3) Zone, identified on Map 1482 of Schedule "A" – Zoning Maps and described as 1330 Sandhill Drive, a Martial Arts Studio shall also be permitted.
427. In addition to the uses permitted in Section 9.2.1 and Section 9.3.1, on those lands zoned General Business Park (M2) Zone and Prestige Business Park (M3) Zone, identified on Maps 612, 1148, 1199, 1482 and 1529 of Schedule "A" – Zoning Maps and described as addresses:
- 12 Innovation Drive (Map 612)  
1378 Sandhill Drive (Map 1482 and 1529)  
1442 Osprey Drive (Map 1529)  
515 Arvin Avenue (Map 1148 and 1199)
- a Dance Studio shall also be permitted.
428. On those lands zoned Prestige Business Park (M3) Zone, identified on Map 1484 of Schedule "A" – Zoning Maps and described as 754 Shaver Road, the following special provisions shall also apply:
- a. In addition to the uses permitted in Section 9.3.1, a Tennis School shall also be permitted;
- b. Notwithstanding Section 9.3.3 j) i) and Section 9.3.3 j) ii), a minimum 2.8 metre wide landscaped area shall be provided and maintained abutting a street, except for points of ingress and egress;
- c. Notwithstanding Section 5.2 e), the portion of the parking areas at the north side of the building containing nine

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parking spaces shall be constructed with a hard/dustless compact surface instead of being constructed with a stable surface of concrete or asphalt.

429. In addition to the uses permitted in Section 9.2.1, on those lands zoned General Business Park (M2) Zone, identified on Map 1482 of Schedule "A" – Zoning Maps and described as 1370 Sandhill Drive, a Music School shall also be permitted.
430. On those lands zoned Prestige Business Park (M3) Zone, identified on Map 1148 of Schedule "A" – Zoning Maps and described as 565 Seaman Street, the following special provisions shall also apply:
- a. In addition to the uses permitted in Section 9.3.1, Commercial Recreation, including an accessory restaurant shall also be permitted;
  - b. Notwithstanding Section 5.6 c) only as it relates to the parking requirement for Commercial Recreation, a minimum of 180 parking spaces shall be provided and maintained.
431. On those lands zoned Prestige Business Park (M3) Zone, identified on Maps 611 and 642 of Schedule "A" – Zoning Maps and described as 91 Highway 5 West (Block 11), the following special provisions shall also apply:
- a. In addition to Section 9.3.1, the following uses shall also be permitted:
    - i) Landscape Contracting Establishment
    - ii) Waste Processing Facility
    - iii) Waste Transfer Facility
  - b. Notwithstanding Section 9.3.2, the following uses shall be prohibited:
    - PROHIBITED USES i) Notwithstanding Section 9.3.1, the following types of manufacturing uses are prohibited, except if these uses are considered only as an accessory use to another permitted manufacturing use:
      - Beverage Distillation

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Breweries  
Manufacturing of Asbestos,  
Phosphate or Sulphur  
Products  
Primary Production of  
Chemicals, Synthetic  
Rubber or Plastic  
Processing or Refining of  
Petroleum or Coal  
Processing, Milling or  
Packaging of Animal  
Feed  
Salvage Yard  
Slaughtering, Eviscerating,  
Rendering or Cleaning  
of Meat, Poultry or Fish  
or by-products thereof  
Smelting of Ore or Metal  
Tanning or Chemical  
Processing of Pelts or  
Leather  
Vulcanizing of Rubber or  
Rubber Products  
Explosives Manufacturing  
Pulp and Paper Mills

- ii) Notwithstanding Section  
9.3.1, the following uses are  
prohibited, even as  
accessory uses:

Day Nursery  
Dwelling Unit

- c. Notwithstanding Section 9.3.3 b), Section 9.3.3 i), Section  
9.3.3 k) and Section 9.3.3 l), the following regulations shall  
apply:

i) Minimum Yard 3.0 metres  
Abutting a  
Street

ii) Landscaped Area and 1. Minimum 3.0 metre wide  
Landscaped Area shall be

**To Amend By-law 05-200 to Create New Industrial Zones  
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Planting Strip Requirements provided and maintained abutting a street, except for points of ingress and egress;

2. In addition to i) above, where a parking space, aisle or driveway is located in a Yard abutting a street, a minimum 3.0 metre wide Planting Strip shall also be required and maintained between the said parking space, aisle or driveway and a street, except for points of ingress and egress.

iii) Location and Screening of Outdoor Storage and Outdoor Assembly and Outdoor Storage and Outdoor Assembly Outdoor Storage and Outdoor Assembly shall be permitted only as an accessory use and the following regulations shall apply:

1. Outdoor Storage and Outdoor assembly shall be permitted in a yard abutting a street, but shall be no closer than 3.0 metres to the lot line;
2. Outdoor Storage and Outdoor Assembly shall not exceed 85% of the total lot area;
3. Outdoor Storage and Outdoor Assembly shall be screened from view from any abutting street by a Visual Barrier in accordance with Section 4.19 of this By-law.

iv) Location of Outdoor Display Outdoor Display of goods, materials or equipment shall be permitted only as an accessory

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use and shall be permitted in a yard abutting a street, but shall be no closer than 3.0 metres to the lot line.

432. In addition to Section 9.3.1 and Section 9.3.3, on those lands zoned Prestige Business Park (M3) Zone, identified on Maps 1451, 1452, 1500 and 1501 of Schedule "A" – Zoning Maps and described as 230 Anchor Road, Retail shall also be permitted only within the existing building."
  433. Notwithstanding Section 5.6 c), 9.5.3 b) and 9.5.3 c), on those lands zoned General Industrial (M5) Zone, identified on Maps 749-751, 789-791, 830-832, 872-874 and 914-916 and described as 386 Wilcox Street, Sections 5.6 c), 9.5.3 b) and 9.5.3 c) shall not apply.
  434. In addition to Section 9.2.1, on those lands zoned General Business Park (M2) Zone, identified on Map 1529 of Schedule "A" – Zoning Maps and described as 680 Tradewind Drive, Commercial Recreation shall also be permitted.
8. That Schedule "D" – Holding Provisions of By-law 05-200 is hereby amended by adding additional Holding Provisions as follows:
- "24. Notwithstanding Section 9.2 and Special Exception No. 389 of this By-law, on those lands zoned General Business Park (M2) Zone, identified on Map 580 of Schedule "A" – Zoning Maps and described as 91 Highway 5 West, site alteration shall not be permitted until a Certificate of Approval has been granted by the Ministry of the Environment pursuant to Section 9 of the Environmental Protection Act, for the Open Storage of operational assets with restrictions on loading and unloading during non-daytime hours.
  25. Notwithstanding Section 9.3 and Special Exception No. 401 of this By-law, on those lands zoned Prestige Business Park (M3) Zone, identified on Map 1149 of Schedule "A" – Zoning Maps and described as 404 Fruitland Road, the subject property shall be used only for the uses existing on the date of the passing of this By-law until such time as an Environmental Report which indicates that it is environmentally sound to develop any of the permitted uses on the site has been completed and approved by the Director of Planning.
  26. Notwithstanding Section 9.2 and Special Exception No. 405 of this By-law, on those lands zoned General Business Park (M2) Zone, identified on Map 1256 of Schedule "A" – Zoning Maps and described

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as 967-977 Barton Street, site alteration shall be conditional upon the following:

- a. Channelization is undertaken in addition to the replacement of undersized culverts associated with the Canadian National Railway tracks as may be required by the Hamilton Region Conservation Authority;
  - b. The details of any proposed drainage works are approved by the Hamilton Region Conservation Authority;
  - c. Any alternatives to the existing drainage pattern affecting the Canadian National Railway property have received the prior concurrence of the Railways and has been substantiated by a drainage report satisfactory to the Railway;
  - d. All relevant servicing requirements including storm drainage, water, sanitary sewers and road design have been approved by the Director of Planning; and,
  - e. A subdivision agreement or modified development agreement has been entered into by the owner with the City of Hamilton.
27. Notwithstanding Section 9.4 of this By-law, on those lands zoned Business Park Support (M4) Zone, identified on Maps 949 and 991 of Schedule "A" – Zoning Maps and described as 611 Aberdeen Avenue, site alteration shall be conditional upon the following:
- a. Provision of an adequate sanitary sewer outlet to service the subject property directly;
  - b. Dedication to the City of Hamilton, if required, of a portion(s) of the subject property for road widening purposes; and,
  - c. Final approval of the West Hamilton Innovation District Secondary Plan.
28. Notwithstanding Section 9.3 of this By-law, on those lands zoned Prestige Business Park (M3) Zone, identified on Maps 1501 and 1548 of Schedule "A" – Zoning Maps and described as lands located at the southwest corner of Highland Road and the Future Trinity Church Road Extension, site alteration shall be conditional upon the following:

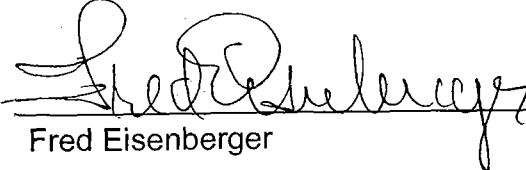


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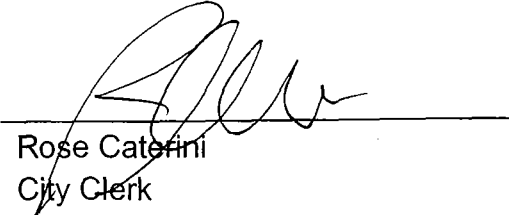
- a. The Owner completing a hydrogeological and geotechnical study, to the satisfaction of the Director of Development Engineering, in consultation with the Senior Director of Water and Wastewater Division, and the Planning Director of the Hamilton Conservation Authority; and,
  - b. The Owner submitting and implementing a functional servicing report that addresses such matters as, but is not limited to, stormwater management and sanitary capacity for proposed development densities, to the satisfaction of the Director of Development Engineering.”
9. That Schedule “F” – Special Figures of By-law 05-200 is hereby amended by adding Special Figure 3 and Special Figure 4.
  10. That the Clerk is hereby authorized and directed to proceed with the giving of notice of passing of this By-law in accordance with the Planning Act.
  11. That this By-law No. 10-128 shall come into force and be deemed to have come into force in accordance with Subsection 34(21) of the Planning Act, either upon the date of passage of this By-law or as provided by the said Subsection.

PASSED this 26th day of May 2010.



---

Fred Eisenberger  
Mayor



---

Rose Caterini  
City Clerk

CI-09-H

**To Amend By-law 05-200 to Create New Industrial Zones  
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**Schedule 1 – Zoning Maps**

**Please see attached binder for Maps**

To Amend By-law 05-200 to Create New Industrial Zones  
for the City of Hamilton

Schedule 2



This is Schedule "2" to By-Law No. 10-128  
Passed the 26th day of May, 2010

*[Signature]*  
Clerk  
*[Signature]*  
Mayor


**Schedule "2"**

Map Forming Part of  
By-Law No. 10-128

to Amend By-law No. 05-200

**Subject Property**

734 Rennie Street, Hamilton

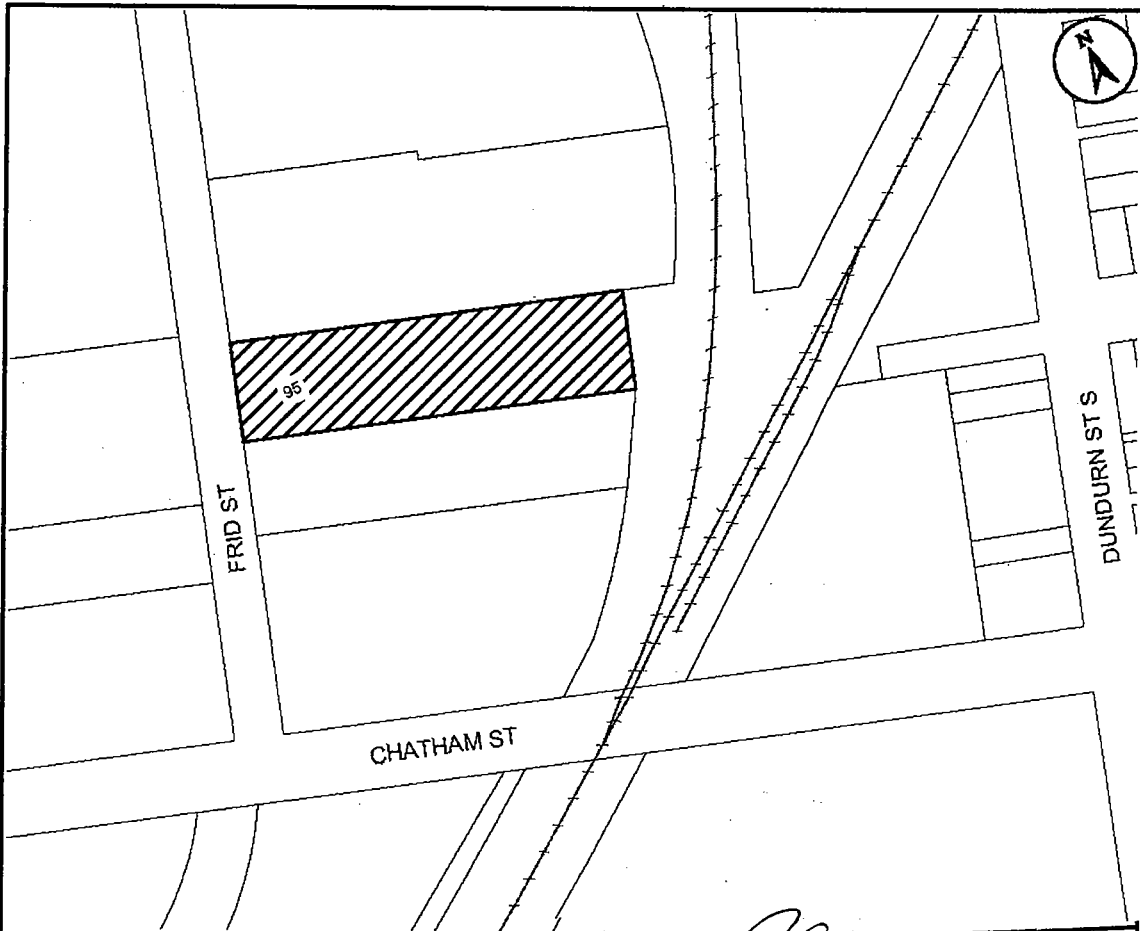
 Change in Zoning from the Neighbourhood Institutional (I1) Zone to the Light Industrial (M6, 366) Zone

Scale: N.T.S.	File Name/Number: CI-09-H_Rennie St
Date: March 10, 2010	Planner/Technician: JS/NB
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT	



To Amend By-law 05-200 to Create New Industrial Zones  
for the City of Hamilton

Schedule 3



This is Schedule "3" to By-Law No. 10-128

Passed the 26th day of May, 2010

*[Signature]*  
Clerk  
*[Signature]*  
Mayor

**Schedule "3"**

Map Forming Part of  
By-Law No. 10-128

to Amend By-law No. 05-200

**Subject Property**

95 Frid Street, Hamilton



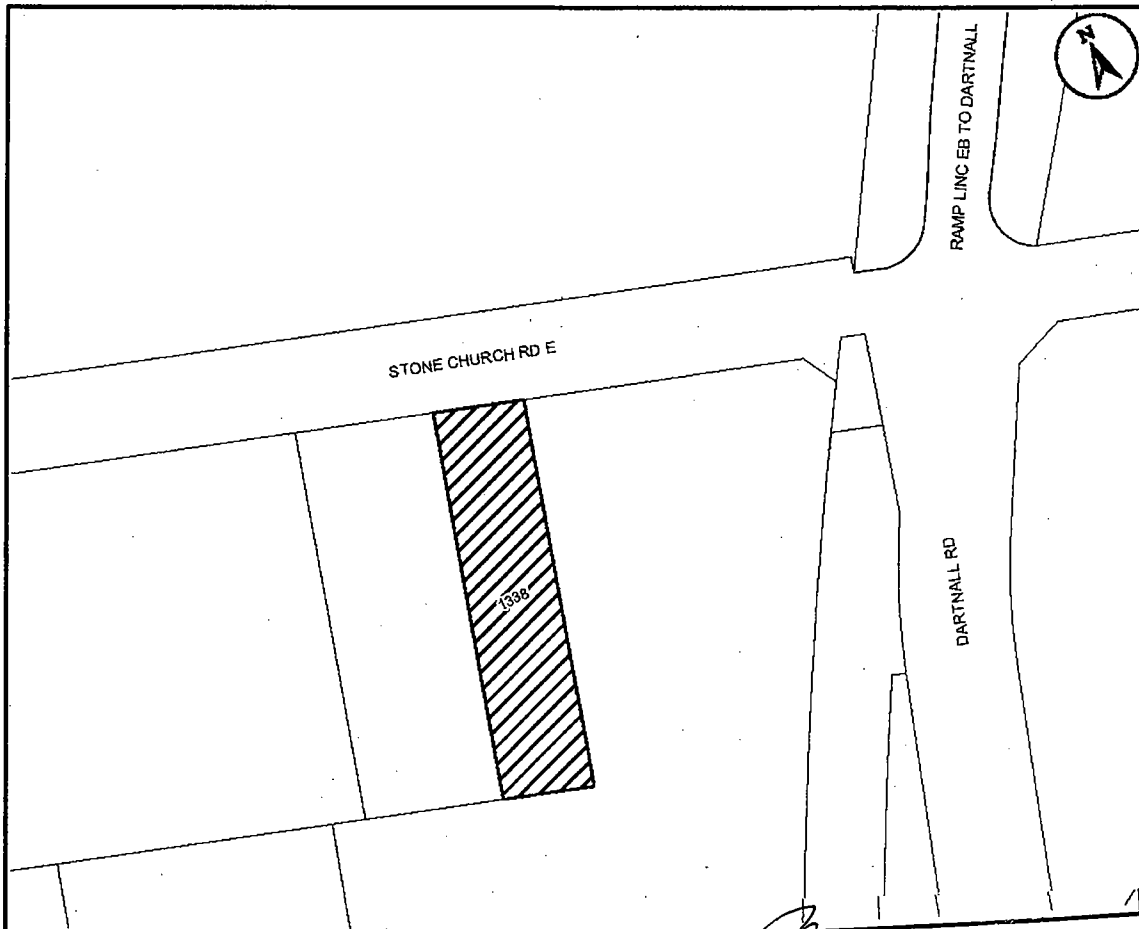
Change in Zoning from the Research and Development (M1) Zone to the Research and Development (M1, 363) Zone

Scale: N.T.S.	File Name/Number: CI-09-H Frid St
Date: March 10, 2010	Planner/Technician: JS/NB
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT	



To Amend By-law 05-200 to Create New Industrial Zones  
for the City of Hamilton

Schedule 4



This is Schedule "4" to By-Law No. 10-128

Passed the 26th day of May, 2010

*[Handwritten Signature]*  
Clerk  
*[Handwritten Signature]*  
Mayor

**Schedule "4"**

Map Forming Part of  
By-Law No. 10-128

to Amend By-law No. 05-200

**Subject Property**

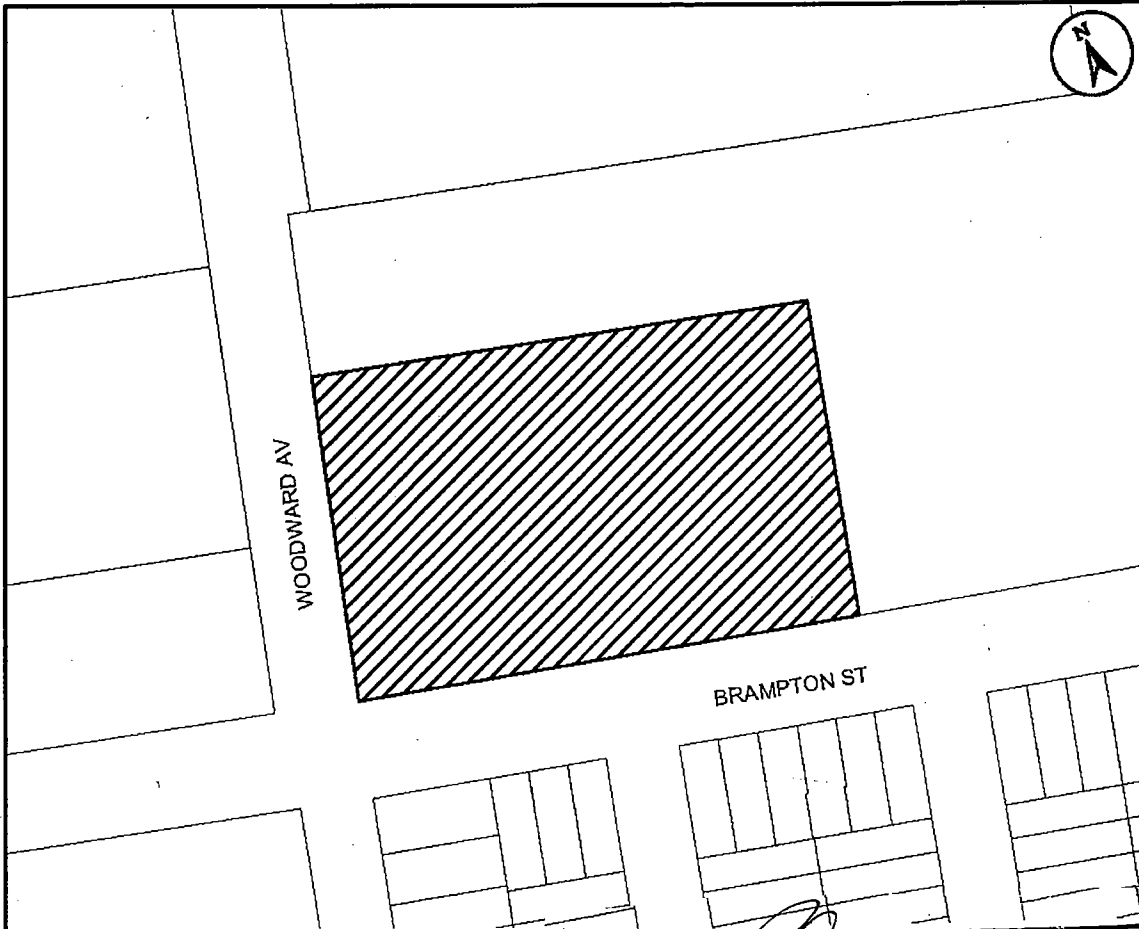


1338 Stone Church Road East, Hamilton  
Change in Zoning from Neighbourhood Institutional  
(I1) Zone to the Prestige Business Park (M3, 369)  
Zone

Scale: N.T.S.	File Name/Number: CI-09-H 1338 Stone Church Rd E	
Date: March 17, 2010	Planner/Technician: JS/NB	
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT		Hamilton

To Amend By-law 05-200 to Create New Industrial Zones  
for the City of Hamilton


Schedule 5




This is Schedule "5" to By-Law No. 10-128  
Passed the .26th... day of May....., 2010

*[Signature]*  
Clerk  
*[Signature]*  
Mayor

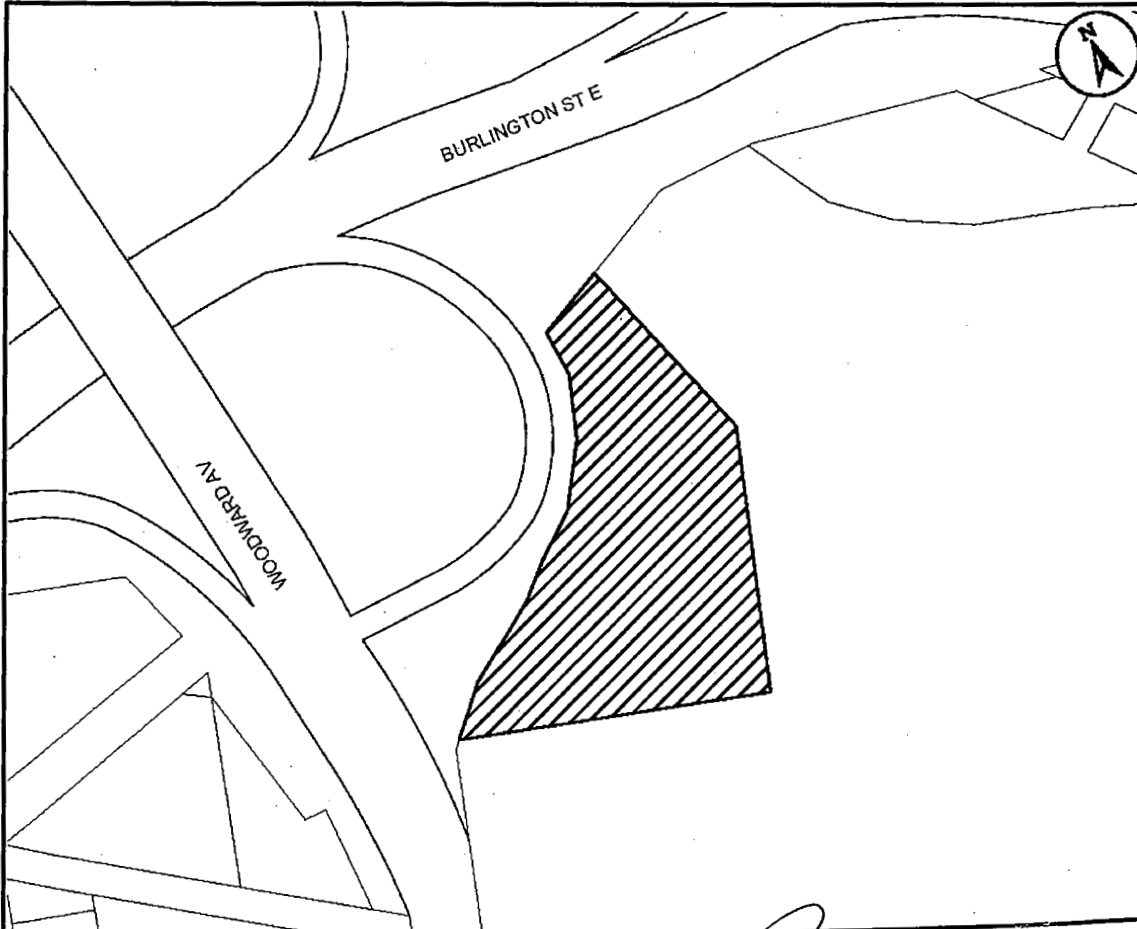
**Schedule "5"**  
  
Map Forming Part of  
By-Law No. 10- 128  
  
to Amend By-law No.05-200

Subject Property  
 Change in Zoning from Community Park (P2) Zone to Light Industrial (M6) Zone

Scale: N.T.S.	File Name/Number: CI-09-H Woodward Ave	
Date: March 17, 2010	Planner/Technician: JS/NB	
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT		<b>Hamilton</b>

To Amend By-law 05-200 to Create New Industrial Zones  
for the City of Hamilton


Schedule 6



This is Schedule "6" to By-Law No. 10- 128  
Passed the 26th day of May, 2010

*[Signature]*  
Clerk  
*[Signature]*  
Mayor

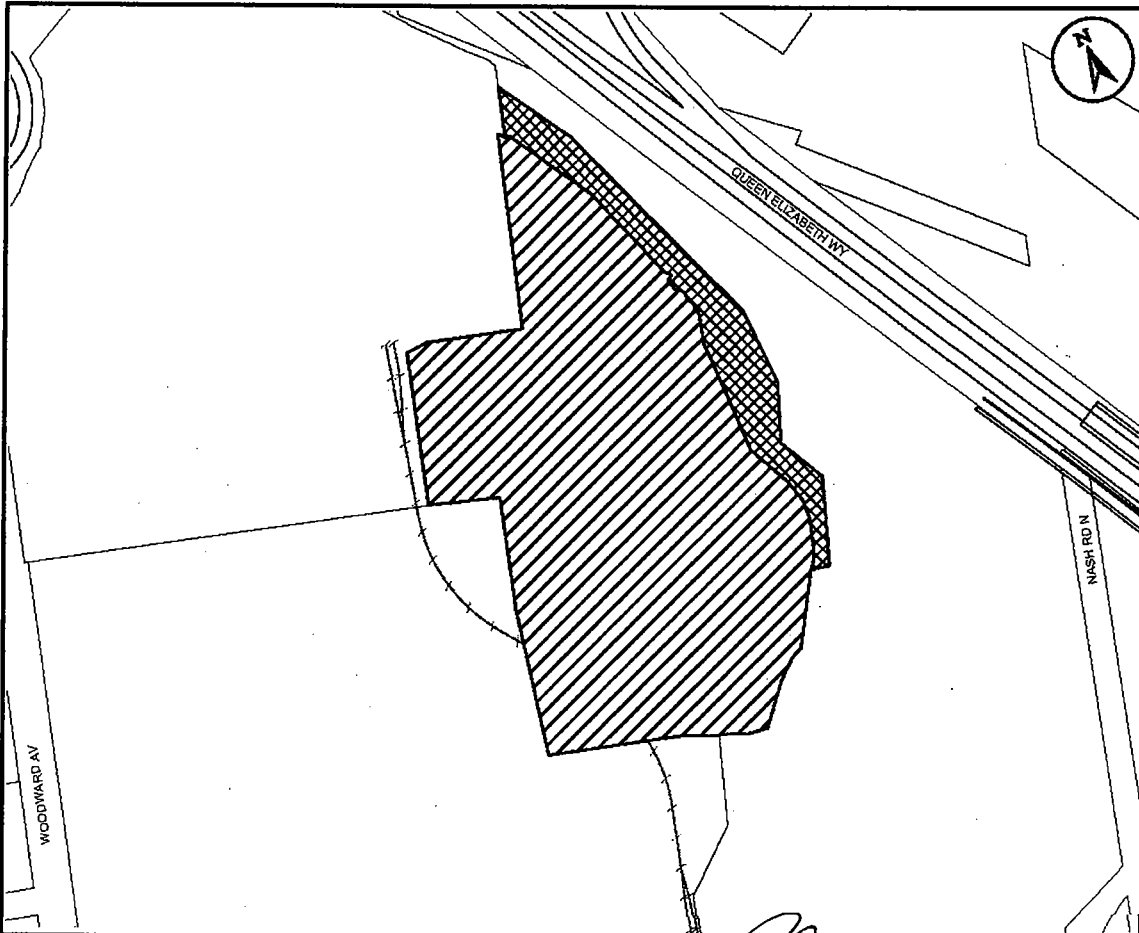
**Schedule "6"**  
  
Map Forming Part of  
By-Law No. 10-128  
  
to Amend By-law No. 05-200

**Subject Property**  
 Change in Zoning from Community Park (P2) Zone to Light Industrial (M6) Zone

Scale: N.T.S.	File Name/Number: CI-09-H Woodward Ave	
Date: March 17, 2010	Planner/Technician: JS/NB	
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT		Hamilton

To Amend By-law 05-200 to Create New Industrial Zones  
for the City of Hamilton

Schedule 7





This is Schedule "7" to By-Law No. 10- 128  
Passed the 26th..... day of ...May....., 2010


*[Signature]*  
Clerk  
*[Signature]*  
Mayor

**Schedule "7"**  
  
Map Forming Part of  
By-Law No. 10- 128  
  
to Amend By-law No.05-200

**Subject Property**

 Change in Zoning from Community Park (P2) Zone to Light Industrial (M6) Zone

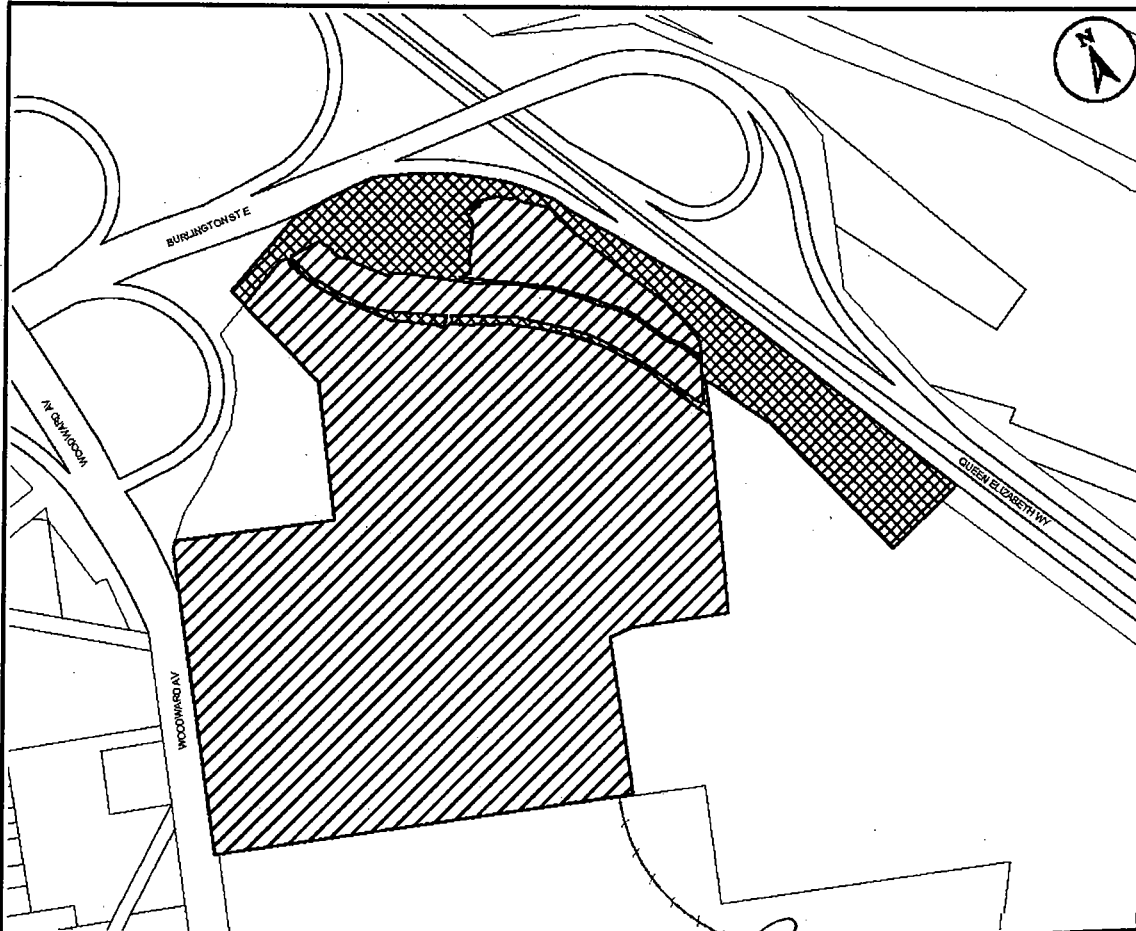
 Change in Zoning from Community Park (P2) Zone to Conservation/Hazard Land (P5) Zone

<b>Scale:</b> N.T.S.	<b>File Name/Number:</b> CI-09-H 700 Woodward Ave	
<b>Date:</b> March 17, 2010	<b>Planner/Technician:</b> JS/NB	
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT		<b>Hamilton</b>



To Amend By-law 05-200 to Create New Industrial Zones  
for the City of Hamilton

Schedule 8



This is Schedule "8" to By-Law No. 10-128  
Passed the 26th..... day of ..May....., 2010



*[Signature]*  
Clerk  
*[Signature]*  
Mayor

**Schedule "8"**

Map Forming Part of  
By-Law No. 10-128

to Amend By-law No.05-200

**Subject Property**

-  Change in Zoning from Neighbourhood Institutional (I1) Zone to Light Industrial (M6) Zone
-  Change in Zoning from Neighbourhood Institutional (I1) Zone to Conservation/Hazard Land (P5) Zone

Scale: N.T.S.	File Name/Number: CI-09-H 700 Woodward Ave
Date: March 17, 2010	Planner/Technician: JS/NB
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT	



To Amend By-law 05-200 to Create New Industrial Zones  
for the City of Hamilton

Schedule 9

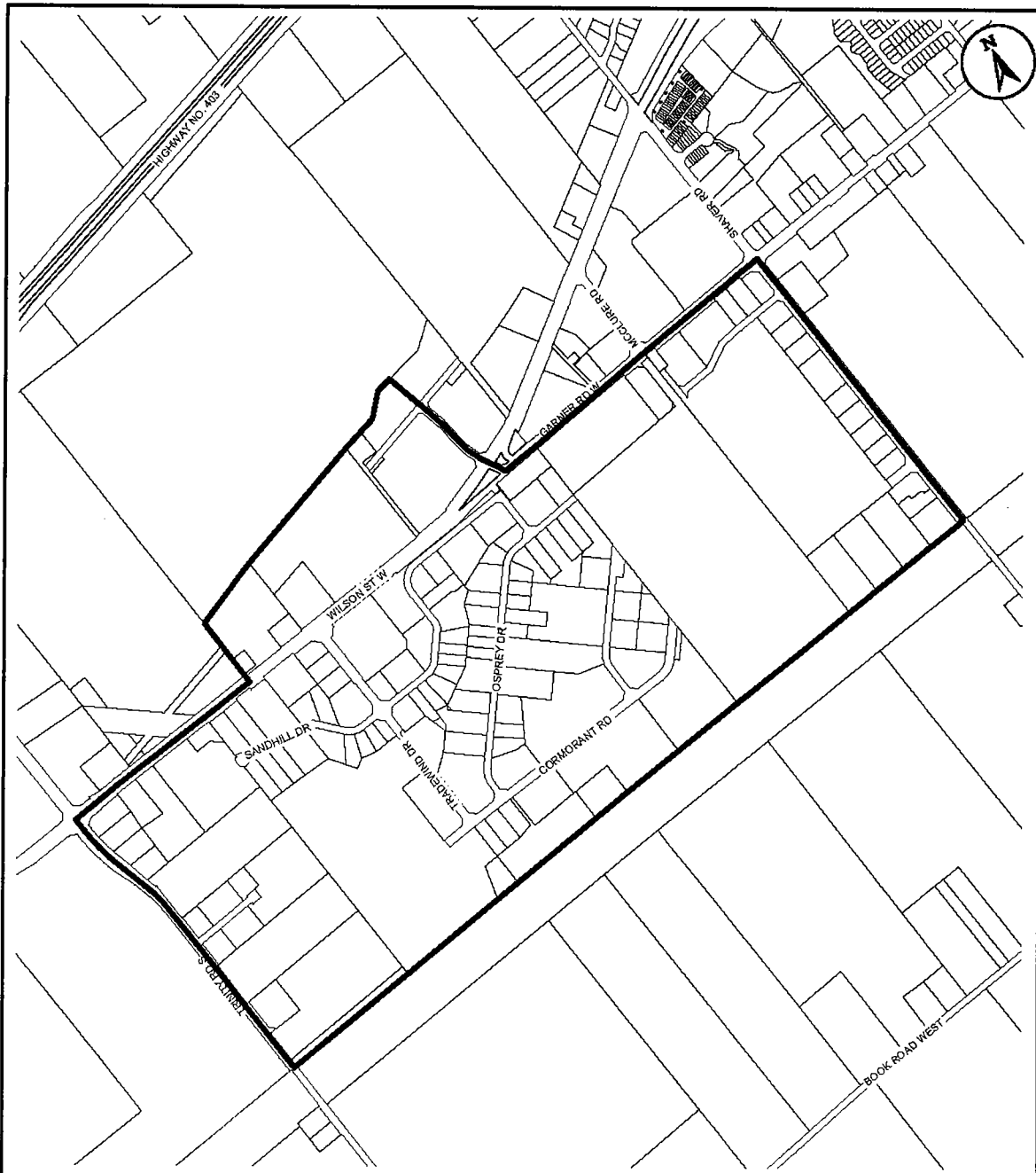


Figure 3: Ancaster Business Park

Date:  
May 5, 2010



Hamilton  
PLANNING AND ECONOMIC  
DEVELOPMENT DEPARTMENT

To Amend By-law 05-200 to Create New Industrial Zones  
for the City of Hamilton

Schedule 10



Figure 4: Flamborough Business Park

Date:  
May 5, 2010